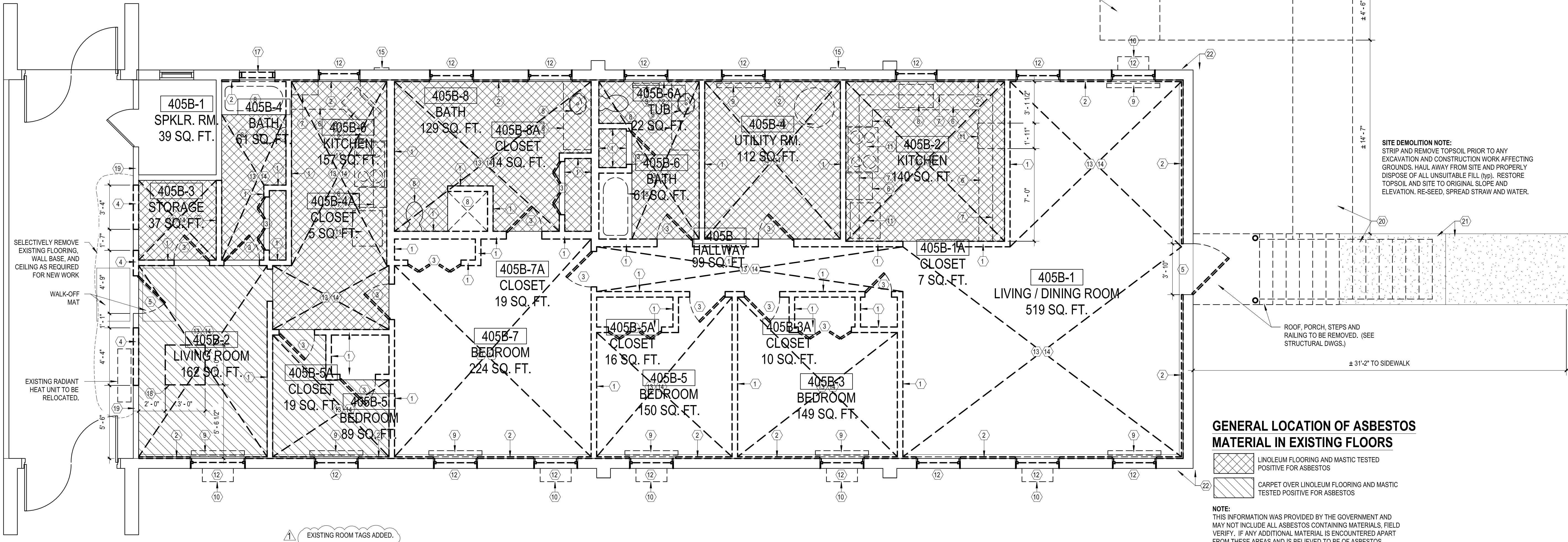


LEAD IN PAINT STATEMENT:
 Due to the age of the 405B building, the paint within and on the outside of the building should be considered lead containing. During the demolition, painted wood, metal, drywall, masonry and other building components may be impacted. If this occurs, the Contractor is required to fully comply with the Occupational Safety and Health Administration (OSHA) Lead in Construction standard (29 CFR 1926.62) which includes, but is not limited to, training, exposure monitoring and implementing engineering controls to prevent dust dispersion to the general building environment. The Contractor shall submit documentation of worker training and their proposed dust control strategy to the government.

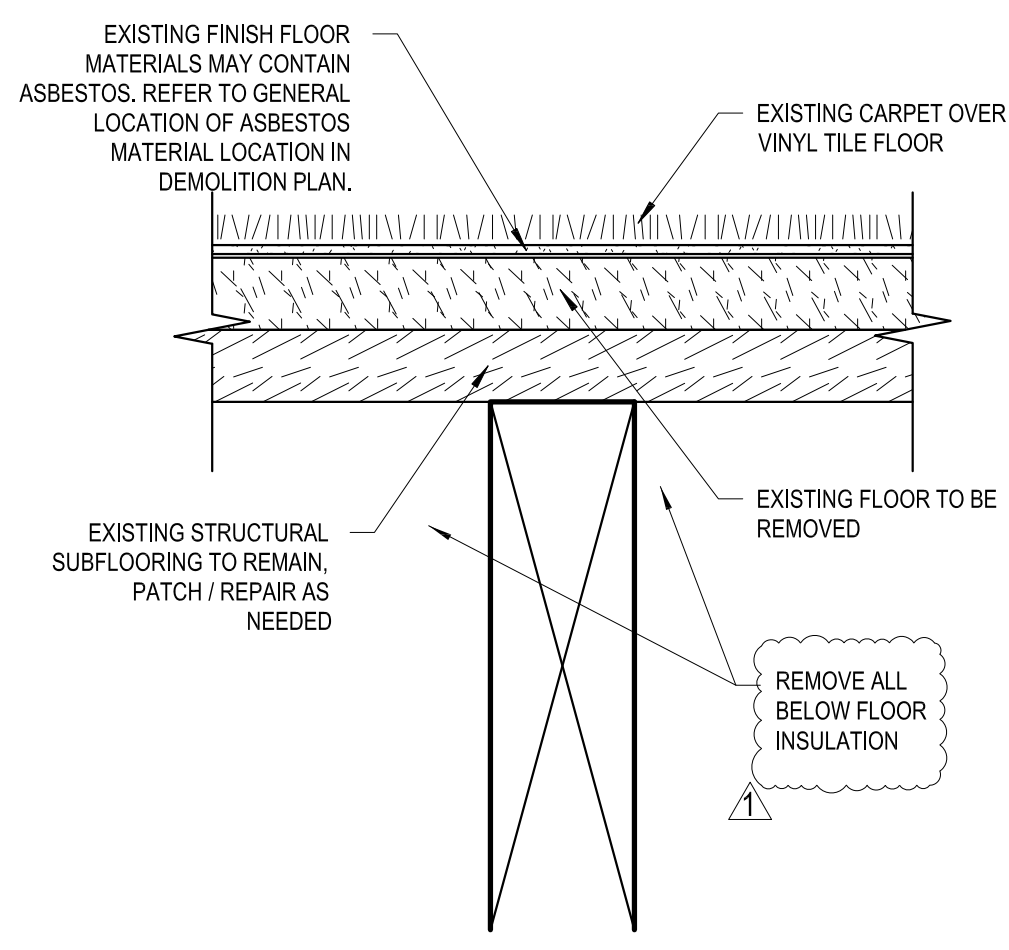
To ensure the effectiveness of the engineering controls, the contractor shall employ an industrial hygienist to collect perimeter air samples for lead outside of the construction area and results of this air sampling shall be provided to the VA. At the conclusion of the work, a representative sample of the waste stream generated shall be collected and submitted for analysis by the Toxicity Characteristic Leaching Procedure (TCLP) to determine the appropriate disposal method in accordance with the Environmental Protection Agency (EPA) Resource Conservation and Recovery Act (RCRA). All waste generated shall be maintained on site until results of the sample is determined.

- GENERAL DEMOLITION NOTES:**
- ALL ITEMS DESIGNATED ON PLAN BY DASHED LINE ARE EXISTING ELEMENTS TO BE REMOVED. THIS DRAWING INDICATES AREAS OF DEMOLITION. SEE MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR OTHER DEMOLITION, INCLUDING MODIFICATIONS THAT MAY EXTEND BEYOND AREAS SHOWN.
 - DURING DURATION OF PROJECT, PROTECT EXISTING CONSTRUCTION AND/OR EQUIPMENT TO REMAIN FROM DAMAGE BY DEMOLITION OR CONSTRUCTION ACTIVITIES. WHERE DEMOLITION OR CONSTRUCTION ACTIVITIES RESULT IN DAMAGE TO EXISTING CONSTRUCTION TO BE RETAINED, REPLACE/REPAIR EXISTING CONSTRUCTION TO RETURN IT TO ITS ORIGINAL CONDITION. WHERE REMOVAL OF EXISTING CONSTRUCTION, PIPING, DUCTWORK, AND OTHER ITEMS CREATES OPENINGS IN THE WALLS, FLOORS OR CEILINGS, PATCH OPENINGS IMMEDIATELY WITH SAME MATERIALS AS ADJACENT CONSTRUCTION. MAINTAIN TEMPORARY CONSTRUCTION BARRIERS WHERE REQUIRED TO PREVENT DUST POLLUTION OF SURROUNDING OCCUPIED AREAS. SEAL AIR TIGHT. PARTITIONS MUST BE INSTALLED IN ACCORDANCE WITH FIRE PROTECTION AND EGRESS REQUIREMENTS. MAINTAIN MEANS OF EGRESS ACCESS TO EXITS DURING CONSTRUCTION.
 - REMOVE SIGNIFICANT ARCHITECTURAL ITEMS OF EXISTING CONSTRUCTION, EXISTING ITEMS NOT SHOWN OR NOTED, INCLUDING WALL-MOUNTED SPECIAL TIES, SHALL BE REMOVED.
 - PROVIDE CONTINUOUS EXHAUST TO EXTERIOR TO MAINTAIN NEGATIVE PRESSURE IN CONSTRUCTION AREA.
 - COORDINATE WITH OWNER FOR EQUIPMENT TO BE SALVAGED AND RETURNED TO OWNER.
 - INSTALL ADHESIVE MATS INSIDE AND OUTSIDE EACH ACCESS DOOR TO CONSTRUCTION AREA.
 - REFER TO MEP DRAWINGS FOR REPLACEMENT OF MECHANICAL EQUIPMENT AND DUCTWORK, PIPING AND ELECTRICAL DEVICES.

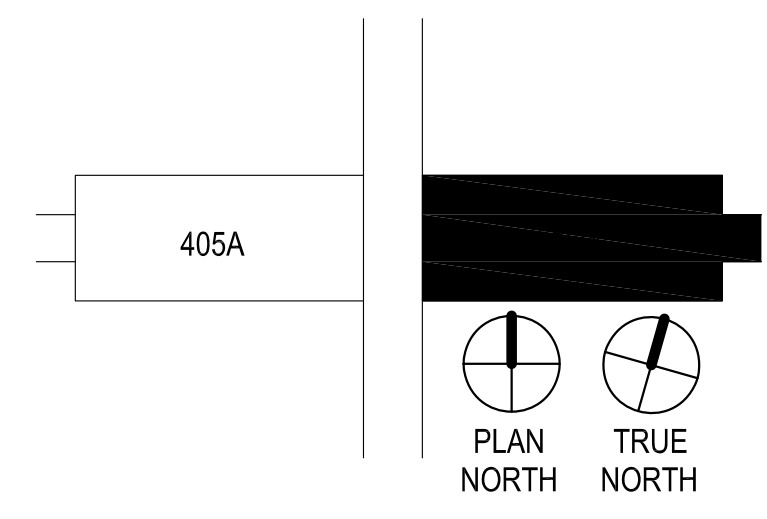
- KEYED DEMOLITION NOTES**
- REMOVE EXISTING PARTITION SHOWN DASHED.
 - REMOVE EXISTING EXTERIOR WALL FURRING SHOWN DASHED DOWN TO EXISTING BLOCK.
 - REMOVE EXISTING DOOR FRAME, HARDWARE, AND ALL DEVICES ATTACHED.
 - REMOVE A PORTION OF EXISTING PARTITION TO PROVIDE AN OPENING FOR NEW DOOR ASSEMBLY.
 - REMOVE EXISTING DOOR FRAME, HARDWARE, AND ALL DEVICES ATTACHED. PROVIDE NEW DOOR AND FRAME ASSEMBLY FOR EXISTING OPENING.
 - REMOVE EXISTING CASEWORK.
 - REMOVE EXISTING WALL CABINETS AND SOFFIT ABOVE.
 - REMOVE PLUMBING FIXTURES SHOWN DASHED. REFER TO PLUMBING DRAWINGS.
 - REMOVE EXISTING RADIATOR AND TURN OVER TO THE VA.
 - REMOVE AND DISPOSE OF EXISTING WINDOW AIR CONDITION UNIT.
 - REMOVE EXISTING KITCHEN EQUIPMENT AND TURN OVER TO THE VA.
 - REMOVE EXISTING WINDOW FRAME AND TRIM. EXISTING WINDOW SEALANT IS OF ASBESTOS CONTAINING MATERIAL. CONTRACTOR TO FOLLOW REMOVAL PROCEDURES DETAILED ON SPECIFICATIONS.
 - REMOVE EXISTING FLOORS AND FINISH FLOORS DOWN TO EXISTING STRUCTURAL SUBFLOOR. PATCH AND REPAIR AS NECESSARY AND PREPARE SURFACE TO RECEIVE NEW FLOOR SYSTEM. EXISTING FLOORING MAY BE OF ASBESTOS CONTAINING MATERIAL. REFER TO SHADED AREAS FOR REFERENCE. CONTRACTOR TO FOLLOW ASBESTOS REMOVAL PROCEDURES DETAILED ON SPECIFICATIONS. ALL MASTIC ASSOCIATED WITH ASBESTOS CONTAINING FLOOR FINISHES SHALL BE CONSIDERED "ASBESTOS CONTAINING MASTIC" AND REMOVED ACCORDINGLY.
 - REMOVE AND DISPOSE EXISTING FIBERGLASS INSULATION AND GYPSUM BOARD CEILING AND REPLACE WITH 1/2" TYPE "X" CEILING GYPSUM BOARD.
 - REMOVE THRU WALL EXHAUST FAN AND TOOTH IN WITH NEW MASONRY TO MATCH ADJACENT CONSTRUCTION AND MORTAR COLOR.
 - REMOVE EXISTING WATER HEATER TANK AND TURN OVER TO THE VA.
 - REMOVE EXISTING WINDOW FRAME AND TRIM AND TOOTH IN NEW MASONRY TO MATCH ADJACENT CONSTRUCTION AND MORTAR COLOR. CAULKING CONTAINS ASBESTOS.
 - REMOVE PORTION OF EXISTING FLOOR FOR NEW FLOOR ACCESS PANEL. REFER TO NEW WORK PLAN FOR LOCATION.
 - EXISTING PARTITION TO BE RESTRUCTURED INTO A 1HR FIRE RESISTANCE BARRIER.
 - REMOVE AND DISPOSE EXISTING WOOD ACCESS RAMP, STAIR AND ALL ASSOCIATED COMPONENTS. PATCH AND REPAIR TOPSOIL AND SITE TO ORIGINAL CONDITION. (N/A) (WOOD RAMP HAS BEEN REMOVED.)
 - DEMOLISH EXISTING CONCRETE WALKWAY FROM SIDEWALK TO BUILDING. PREP SITE TO RECEIVE NEW SIDEWALK CONSTRUCTION. REFER TO NEW WORK PLAN.
 - ASSUME ALL CAULKING ON EXTERIOR OF BUILDING IS POSITIVE FOR ASBESTOS CONTAINING AND MUST BE REMOVED AS SUCH.



1 FIRST FLOOR - DEMOLITION PLAN
 1/4" = 1'-0"



2 EXISTING FLOOR ASSEMBLY DETAIL
 6" = 1'-0"



KEY PLAN
 1" = 50'-0"

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Revisions by the VA	09/19/2019
100% Construction Documents Submission	05/31/13
95% Construction Documents Submission	05/10/13
60% Design Development Submission	03/26/13
Revisions:	Date

Stamp/Seal

Drawing Title
FIRST FLOOR - DEMOLITION PLAN

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
 05/31/2013

Checked
 TOS

Drawn
 LM/RO

VA Project Number
613-13-115

Building Number
405B

Drawing Number
AD100

Office of Construction and Facilities Management

Department of Veterans Affairs

A

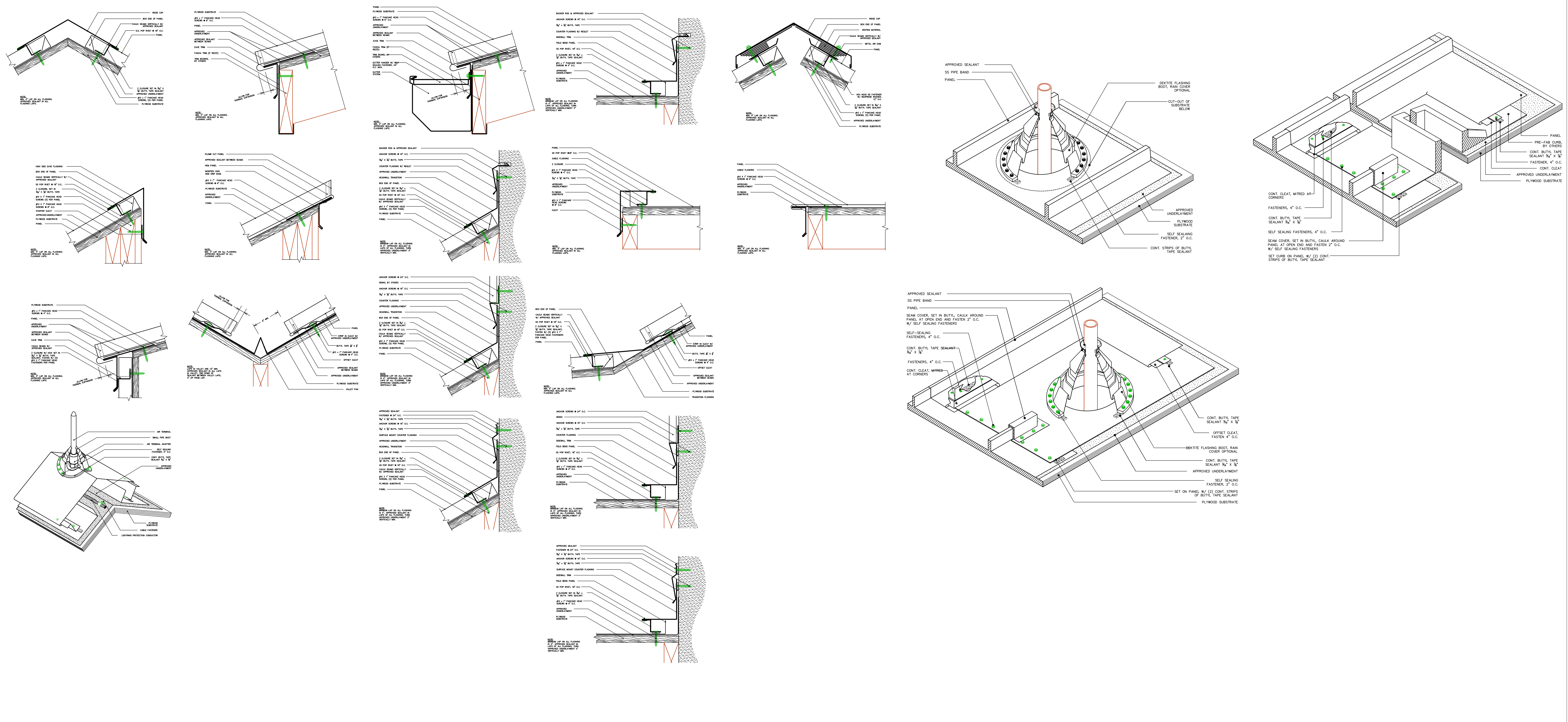
B

C

D

E

F



Rev	Explanation & Initials	CAD	Date
1	Revisions by the VA		03/11/2022
2	Revisions by the VA		09/19/2019
3	Explanation & Initials	CAD	



Drawing Title Typical Details Standing Seam Metal Roofing on Wood Deck	
Approved:	
Approved:	

Project Title Bldg 405B for HOPTEL	
Building Number N/A	Checked Drawn
Location VAMC, MARTINSBURG WV	

Date 06/09/2019
Project No.
Drawing Number AE 500

Office of
Construction
and Facilities
Management

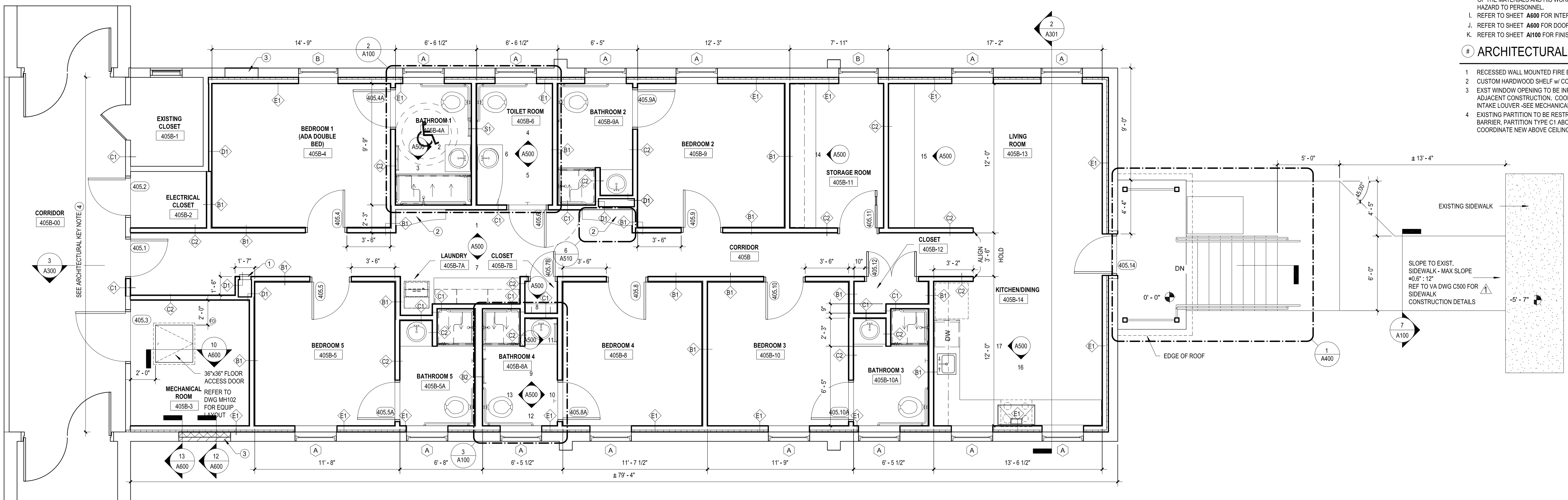
VA U.S. Department
of Veterans Affairs

GENERAL ARCHITECTURAL NOTES:

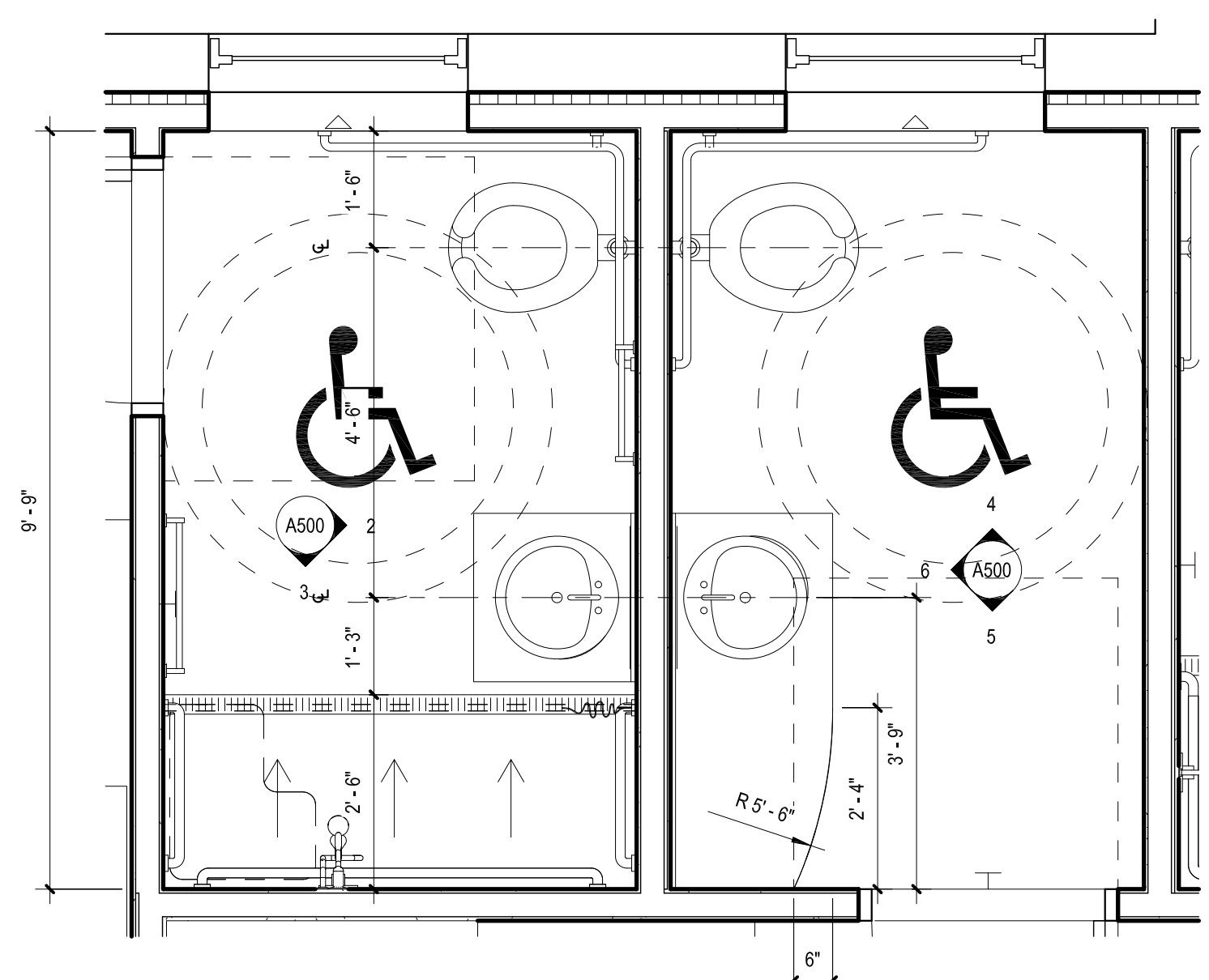
- A. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS AND NOTIFY THE CONTRACT OFFICER (CO) AND/OR COFR OF ANY DISCREPANCIES PRIOR TO COMMENCING NEW WORK.
- B. ALL DIMENSIONS GIVEN ON PLANS ARE FROM FINISHED FACE TO FINISHED FACE UNLESS OTHERWISE NOTED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT THE APPROVAL OF THE CO AND/OR COFR UNLESS NOTED.
- C. GENERAL CONTRACTOR SHALL FURNISH AND INSTALL ADEQUATE BLOCKING IN WALLS AS REQUIRED TO SUPPORT WALL MOUNTED ITEMS. LOCATE EQUIPMENT AND COORDINATE BLOCKING LOCATIONS IN FIELD.
- D. GENERAL CONTRACTOR SHALL PROVIDE PROTECTION OF EXISTING FINISHES AND/OR GOVERNMENT PROPERTY DESIGNATED TO REMAIN OR BE SALVAGED. THE CONTRACTOR SHALL RESTORE TO ORIGINAL CONDITIONS ANY AREAS OR FINISHES DAMAGED BY HIS WORK, AT HIS OWN EXPENSE. CONTRACTOR SHALL REMOVE MEANS OF PROTECTION AT THE END OF THE PROJECT.
- E. GENERAL CONTRACTOR SHALL TAKE ALL REASONABLE CONTROL AND PRECAUTION TO ELIMINATE DUST, NOISE AND ODORS FROM PREMISES AND TO COORDINATE CONSTRUCTION OF THE WORK TO MINIMIZE THE DISRUPTION AND HAZARD TO OCCUPANTS, PROPERTY, ETC.
- F. CONSTRUCTION WORK WHICH INVOLVES EXCESSIVE NOISE OR VIBRATION THAT WILL DISRUPT THE BUILDING OCCUPANTS SHALL BE PERFORMED BETWEEN THE HOURS OF 8:00 AM & 7:00 PM AND ON WEEKENDS.
- G. THE GOVERNMENT SHALL MAINTAIN FULL OCCUPATION OF THE AREAS ADJACENT TO THOSE INVOLVED IN THIS CONTRACT. THE CONTRACTOR SHALL SCHEDULE ANY WORK IMPACTING ON OCCUPIED AREAS WITH THE PROJECT OFFICER AND THE CONTRACTOR WILL NOT BE ALLOWED ANY STORAGE AREA OTHER THAN THE LIMITS OF CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE STORAGE OF THE MATERIALS AND HIS WORK EFFORT TO MINIMIZE THE DISRUPTION AND HAZARD TO PERSONNEL.
- H. REFER TO SHEET A600 FOR INTERIOR PARTITION TYPES.
- I. REFER TO SHEET A600 FOR DOOR SCHEDULE.
- J. REFER TO SHEET A100 FOR FINISH SCHEDULE.

ARCHITECTURAL KEY NOTES:

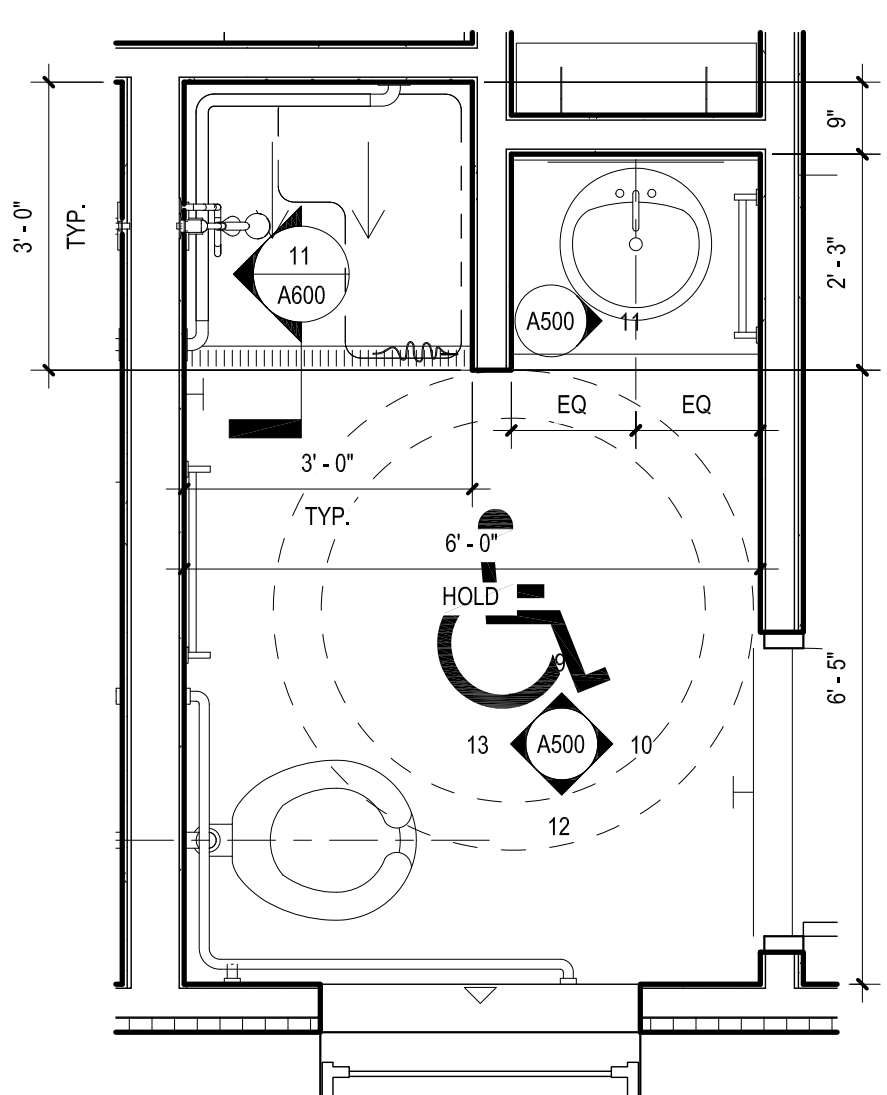
- 1 RECESSED WALL MOUNTED FIRE EXTINGUISHER CABINET
- 2 CUSTOM HARDWOOD SHELF W/ CONCEALED SUPPORT
- 3 EXIST WINDOW OPENING TO BE FILLED WITH NEW BRICK AND MORTAR TO MATCH ADJACENT CONSTRUCTION. COORDINATE IN/FILL WITH INSTALLATION OF NEW INTAKE LOUVER - SEE MECHANICAL DWGS. ALIGN LOUVER HEAD WITH EXIST. LINTEL.
- 4 EXISTING PARTITION TO BE RESTRUCTURED INTO A 1HR (UL1419) FIRE RESISTANCE BARRIER. PARTITION TYPE C1 ABOVE. EXTEND TO ROOF STRUCTURE ABOVE. COORDINATE NEW ABOVE CEILING ACCESS PANEL LOCATION IN FIELD.



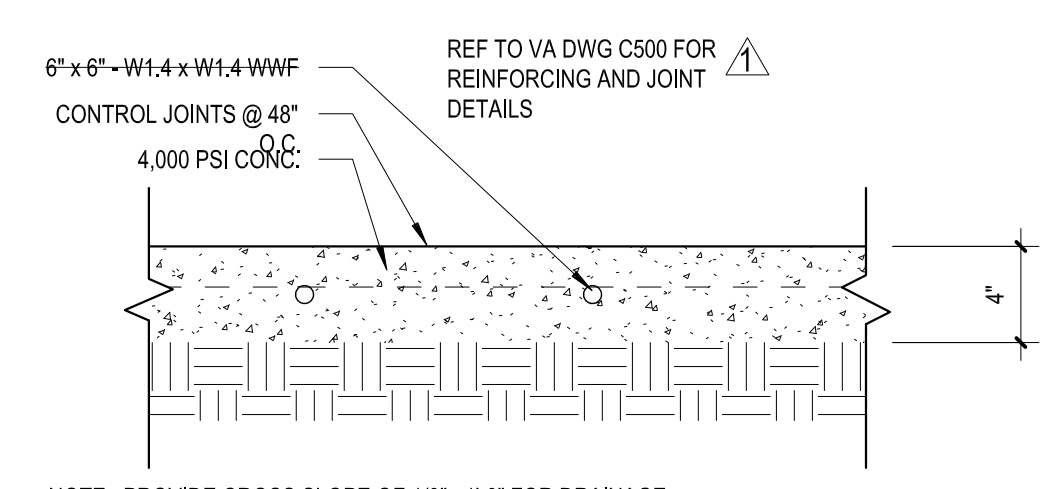
1 FIRST FLOOR - NEW WORK PLAN
1/4" = 1'-0"



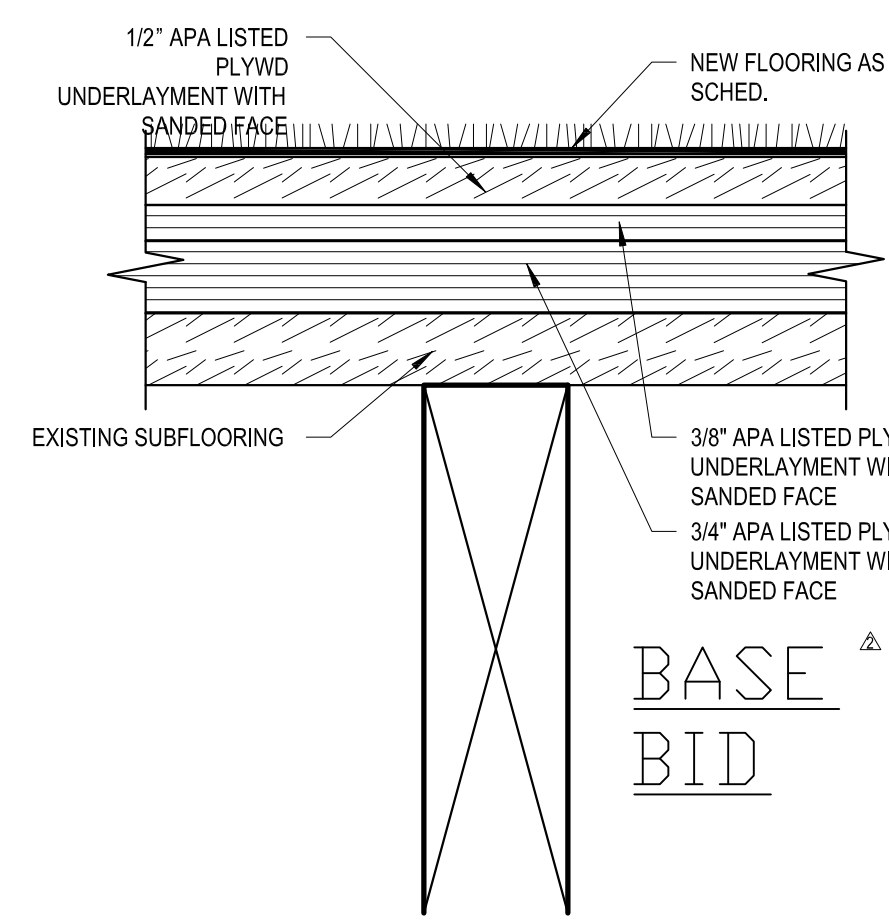
2 ADA & COMMON BATHROOM
1/2" = 1'-0"



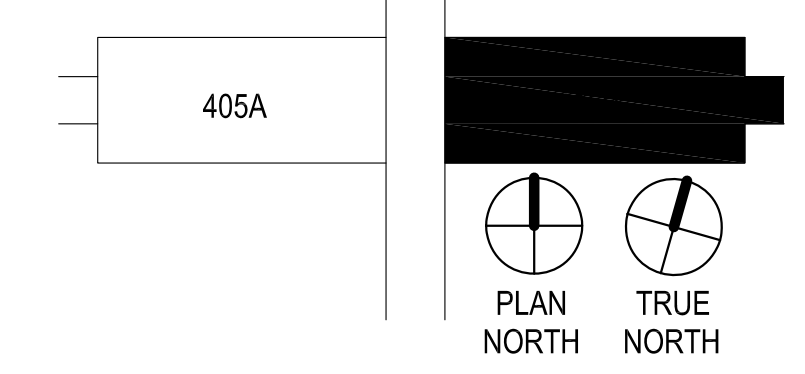
3 TYPICAL BATHROOM
1/2" = 1'-0"



7 SIDEWALK DETAIL
1 1/2" = 1'-0"




6 FLOOR DETAIL @ CARPET (Alternate #3)
6" = 1'-0"



KEY PLAN
1" = 50'-0"

Revisions by the VA	03/11/2022
Revisions by the VA	09/19/2019
100% Construction Documents Submission	05/31/13
95% Construction Documents Submission	05/10/13
60% Design Development Submission	03/26/13
Revisions:	Date

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Stamp/Seal

Drawing Title
FIRST FLOOR - NEW WORK PLAN

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
05/31/2013

Checked
TOS

Drawn
LM/RO

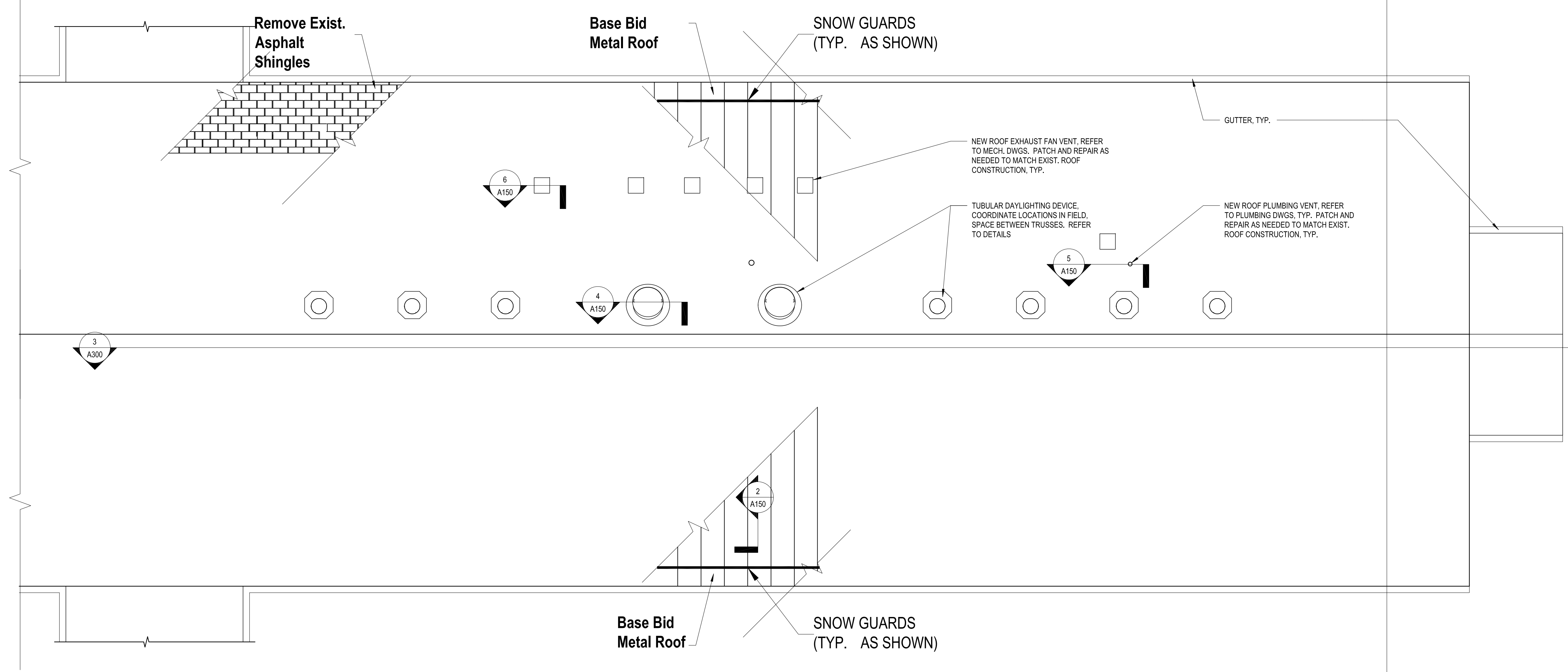
VA Project Number
613-13-115

Building Number
405B

Drawing Number
A100

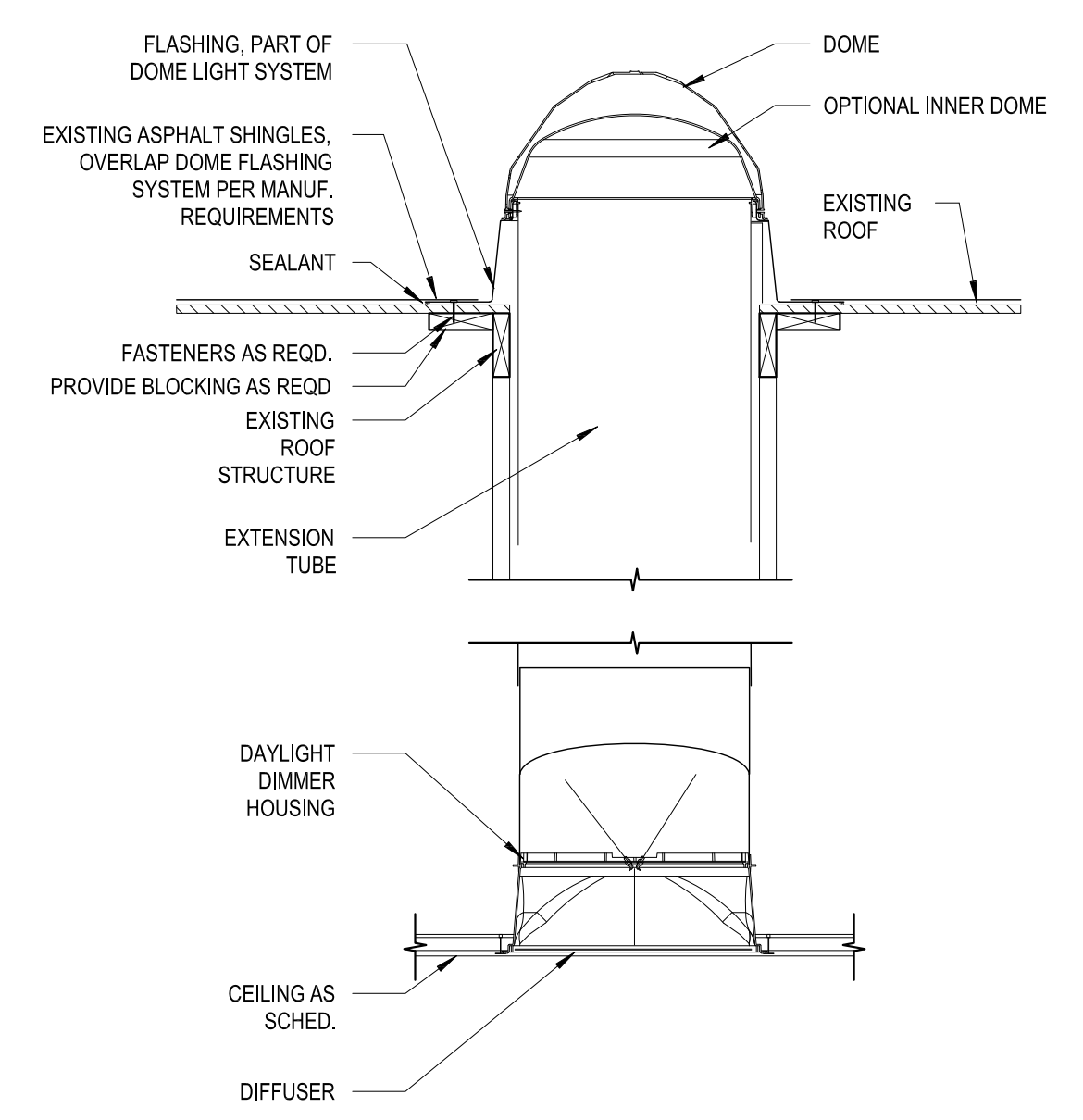
Office of Construction and Facilities Management



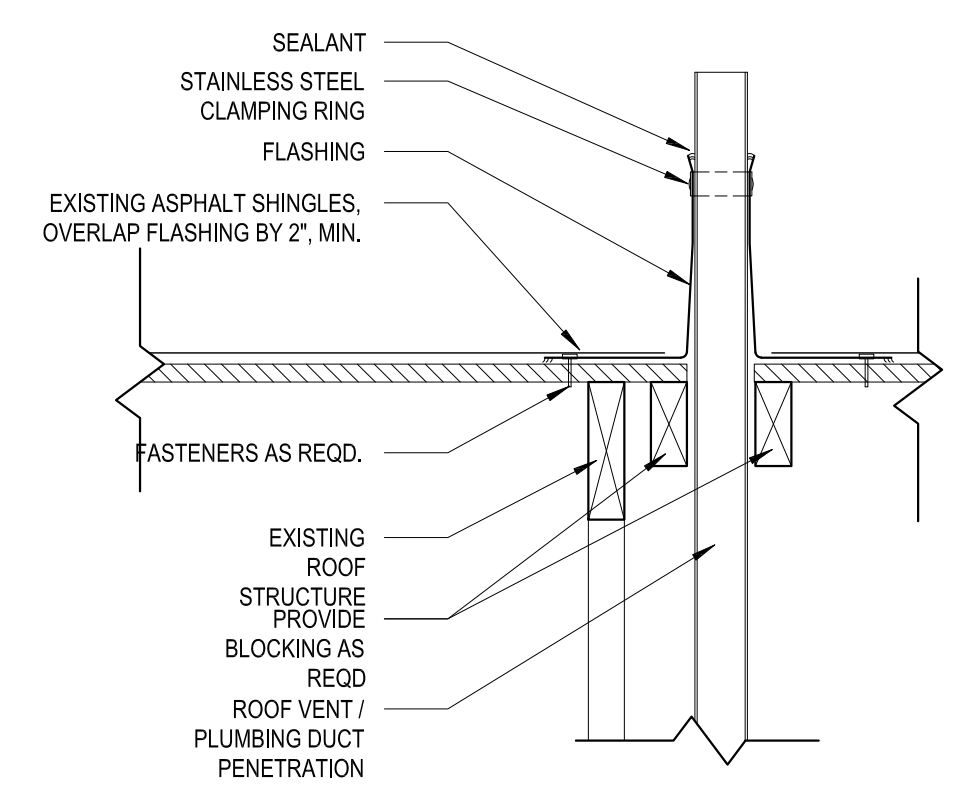


NOTE:
 BASE BID INCLUDES REMOVING ASPHALT SHINGLES AND ADDING STANDING SEAM METAL ROOFING PANELS OVER NEW $\frac{5}{8}$ " ROOF SHEATHING.
 IN REFERENCE TO DETAILS 2 THRU 6 BELOW, USE THE ROOF PANEL MANUFACTURER'S RECOMMENDED FLASHING DETAILS. ALSO, SEE DWG AE500.

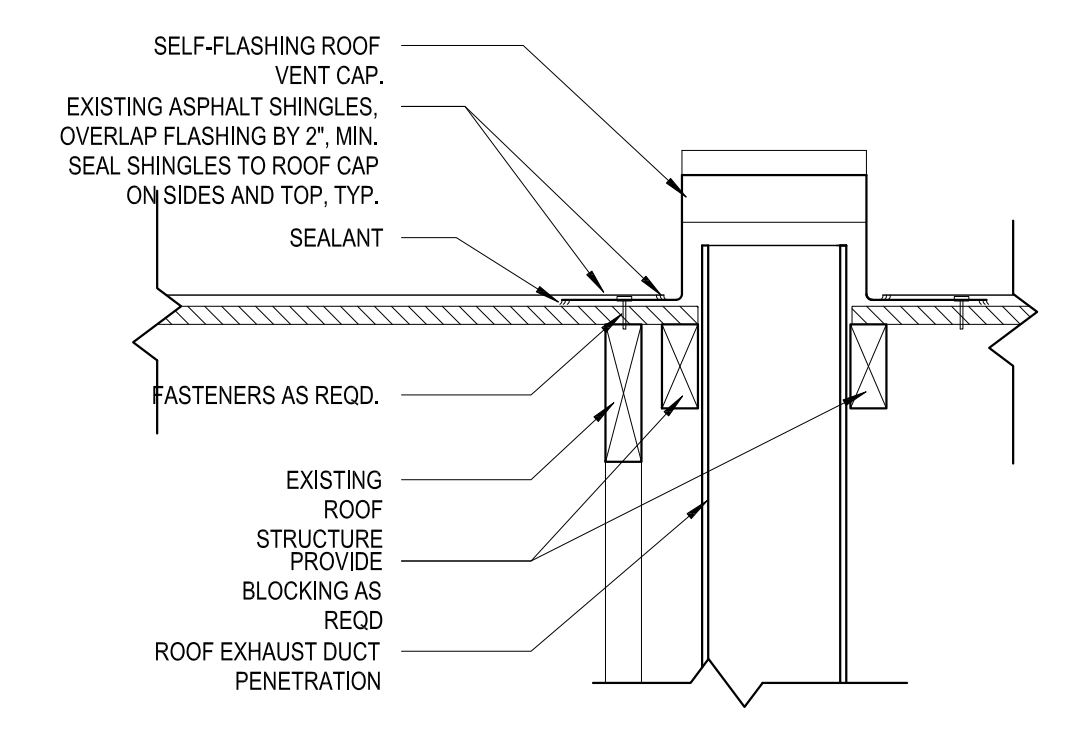
1 ROOF PLAN
 1/4" = 1'-0"



4 TUBULAR DAYLIGHTING DEVICE DETAIL (ALT #3)
 3/4" = 1'-0"



5 ROOF VENT DETAIL
 1 1/2" = 1'-0"



6 ROOF EXHAUST VENT DETAIL
 1 1/2" = 1'-0"

Revisions by the VA	03/11/2022
Revisions by the VA	09/19/2019
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Stamp/Seal

Drawing Title
ROOF PLAN

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
 05/31/2013

Checked
 TOS

Drawn
 LM/RO

VA Project Number
613-13-115

Building Number
405B

Drawing Number
A150

Office of
 Construction
 and Facilities
 Management

Department of
 Veterans Affairs

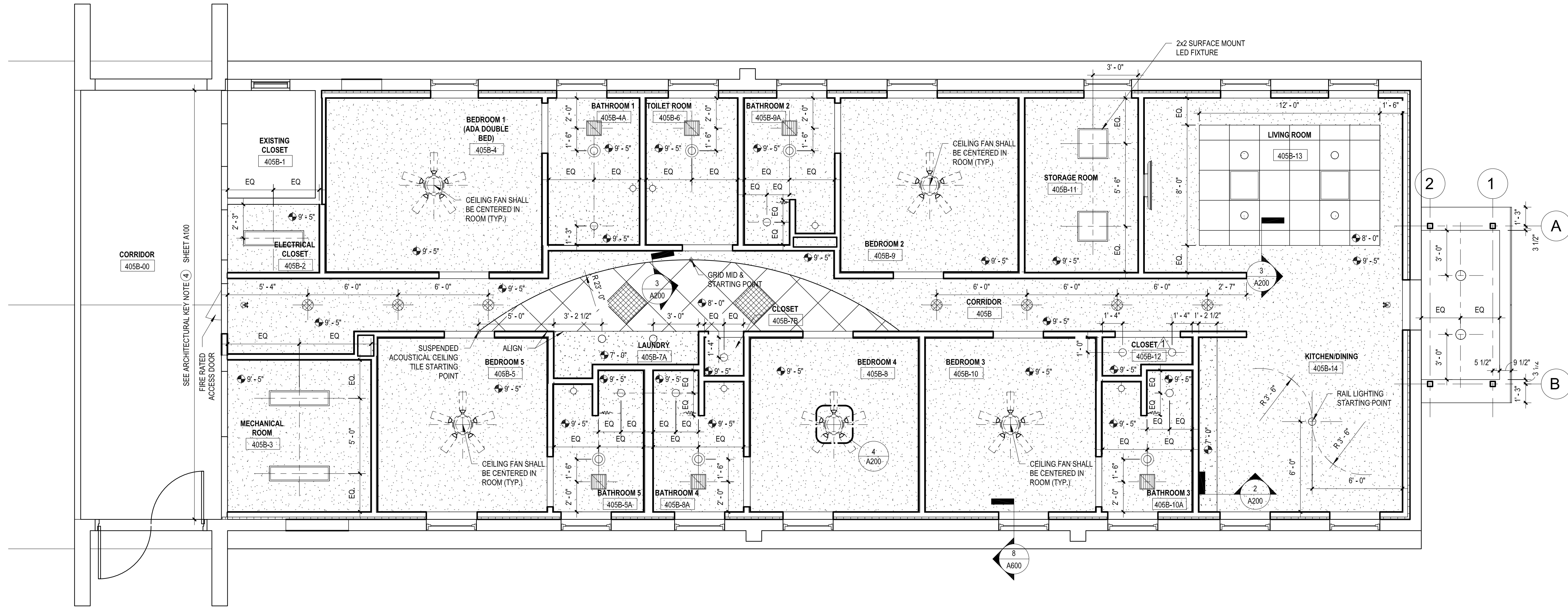
3" = 1'-0"
 1 1/2" = 1'-0"
 1" = 1'-0"
 3/4" = 1'-0"
 1/2" = 1'-0"
 3/8" = 1'-0"
 1/4" = 1'-0"
 1/8" = 1'-0"

GENERAL REFLECTED CEILING NOTES:

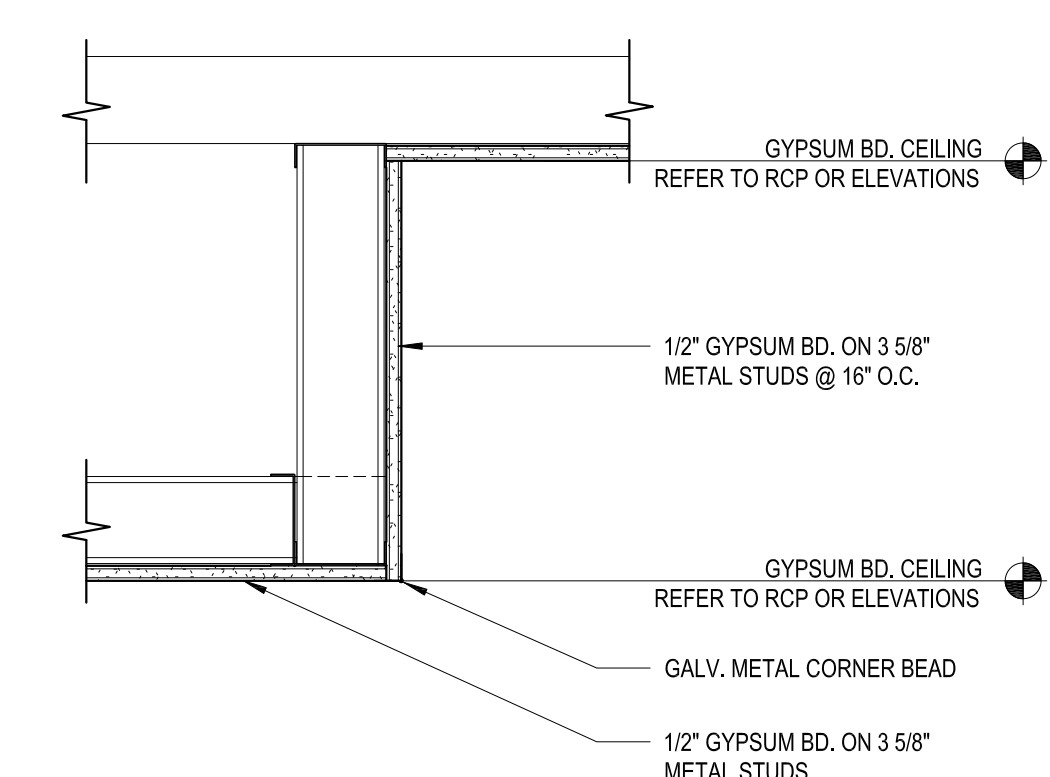
- A. IN CASE DISCREPANCIES IN THE LOCATION OF CEILING MOUNTED COMPONENTS WITH THE ENGINEERING DRAWINGS, THE REFLECTED CEILING PLAN SHALL GOVERN. IN CASE DISCREPANCIES WHERE THIS CAN NOT BE ACHIEVED, CO AND/OR COTR SHALL BE NOTIFIED PRIOR TO CONTINUATION OF WORK.
- B. ALL ACOUSTICAL CEILING GRIDS SHALL BE CENTERED AS SHOWN IN ROOM OR DEFINED BOUNDARY UNLESS DIMENSIONED OR NOTED OTHERWISE. ALL SPRINKLER HEADS AND DOWNLIGHTS SHALL BE IN CENTER OF CEILING PANELS, OR SPACED OUT ACCORDING TO GOVERNING CODE, UNLESS DIMENSIONED OR NOTED OTHERWISE.
- C. DURING CONSTRUCTION, PROTECT ALL EXISTING TO REMAIN SPRINKLER HEADS IN ATTIC AND CRAWL SPACE.
- D. IF UNDIMENSIONED, ALL DEVICES LOCATED WITHIN ACOUSTICAL CEILING TILES, GYPSUM BOARD CEILINGS, OR SOFFITS SHALL BE CENTERED, UNLESS OTHERWISE NOTED (UON). MULTIPLE DEVICES SHALL FOLLOW THE GRAPHIC DEPICTION ON THE DRAWINGS AS CLOSELY AS POSSIBLE, ALIGNING DEVICES WITH RESPECT TO ONE ANOTHER AND SPACING EVENLY AS SHOWN.
- E. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION REGARDING LIGHT FIXTURE TYPES, FIRE ALARM DEVICES, SMOKE DETECTORS AND SPECIAL SYSTEMS CEILING MOUNTED DEVICES LOCATIONS.
- F. SEE HVAC DRAWINGS FOR HVAC DIFFUSER AND GRILLE SIZES AND TYPES.
- G. REFER TO FINISH PLAN AND FINISH LEGEND FOR CEILING MATERIAL.
- H. ALL HEIGHTS SHOWN ARE TO BOTTOM OF GRID SYSTEM OR GYPSUM BOARD ABOVE FINISHED FLOOR (AFF) UNLESS OTHERWISE NOTED.
- I. THE HORIZONTAL SURFACE OF ALL GYPSUM BOARD SOFFITS SHALL BE PAINTED. THE VISIBLE VERTICAL FACES OF GYPSUM BOARD SOFFITS SHALL BE FINISHED PER TAGS ON RCP (UON). SEE FINISH LEGEND ON INTERIOR SHEETS FOR ADDITIONAL INFORMATION.
- J. ANY EXISTING AREAS TO REMAIN THAT ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPAIRED AND/OR REPLACED TO RETURN THEM TO THEIR ORIGINAL CONDITION OR BETTER.
- K. ALL GYPSUM BOARD CEILINGS SHALL BE PAINTED GENERAL CEILING COLOR, INCLUDING ALL AREA ABOVE ACOUSTICAL CEILING CLOUDS.
- L. SKYLIGHT DOWNLIGHT FIXTURE LOCATIONS SHALL BE VERIFIED IN FIELD AND COORDINATED WITH EXISTING STRUCTURAL TRUSS LOCATIONS.

REFLECTED CEILING PLAN LEGEND:

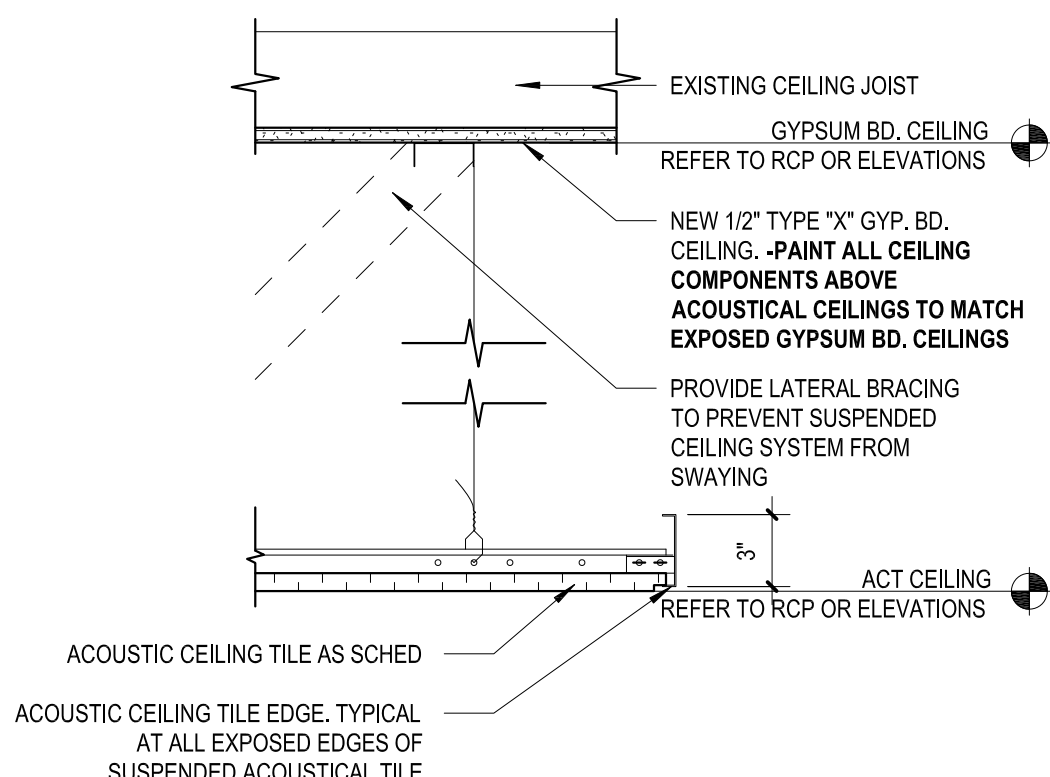
- 2x2 LAY-IN ACOUSTICAL CEILING
- GYPSUM BOARD CEILING/SOFFIT
- 1x4 SURFACE MOUNT LED FIXTURE
- 2x2 LAY-IN LED FIXTURE
- SKYLIGHT FIXTURE (SEE ELECTRICAL DWGS)
- SKYLIGHT DOWNLIGHT FIXTURE (SEE ELECTRICAL DWGS)
- RECESSED DOWNLIGHT
- SURFACE MOUNT LED FIXTURE (SEE ELECTRICAL DWGS)
- EXHAUST FAN (SEE MECHANICAL DWGS)
- EXIT SIGNAGE (SEE ELECTRICAL DWGS)
- CEILING HEIGHT F.F.F.
- CEILING FAN
- WALL MOUNTED SCONCE



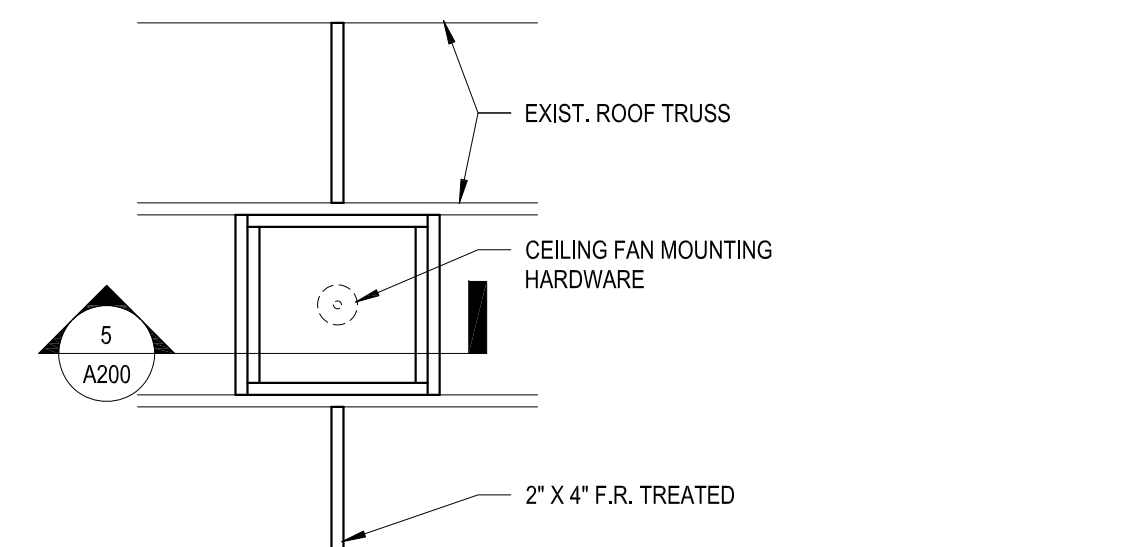
1 FIRST FLOOR - RCP
 1/4" = 1'-0"



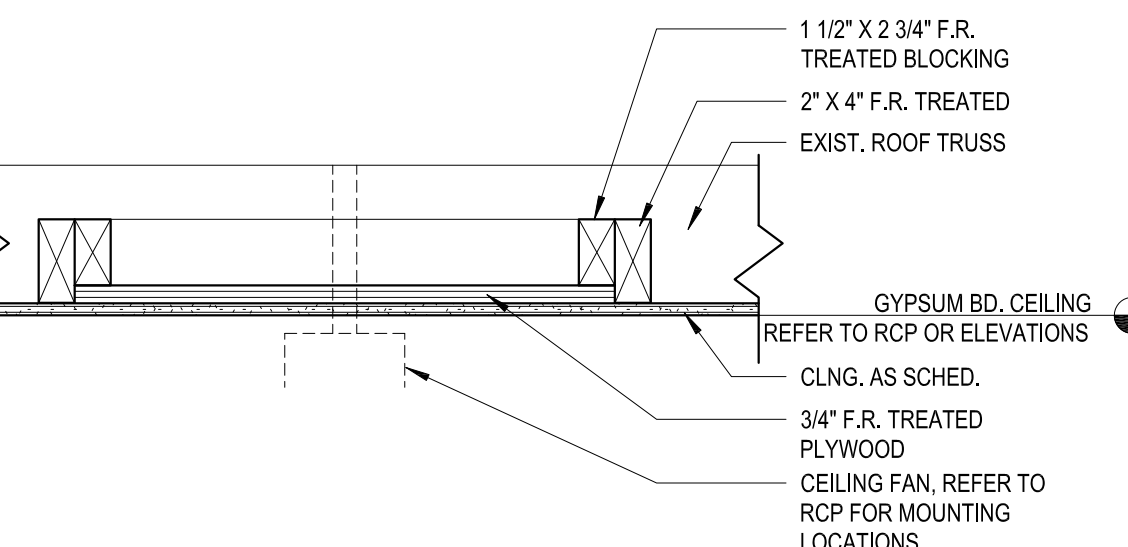
2 GYP. BD. SOFFIT DETAIL
 1 1/2" = 1'-0"



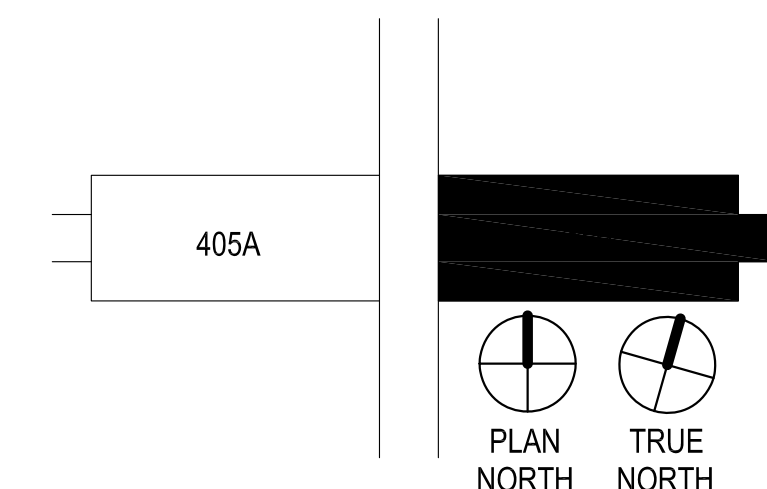
3 SUSPENDED ACOUSTICAL TILE DETAIL
 1 1/2" = 1'-0"



4 CEILING FAN BRACING PLAN
 1/2" = 1'-0"



5 CEILING FAN BRACING SECTION
 1 1/2" = 1'-0"



KEY PLAN
 1" = 50'-0"

Revisions by the VA	09/19/2019
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Stamp/Seal

Drawing Title
FIRST FLOOR - REFLECTED CEILING PLAN
 Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS
 Location
MARTINSBURG, WV
 Date
05/31/2013
 Checked
TOS
 Drawn
LM/RO

VA Project Number
613-13-115
 Building Number
405B
 Drawing Number
A200

Office of Construction and Facilities Management

NOTE:
 BASE BID INCLUDES REMOVING ASPHALT SHINGLES AND ADDING STANDING SEAM METAL ROOFING PANELS OVER NEW 5/8" ROOF SHEATHING.

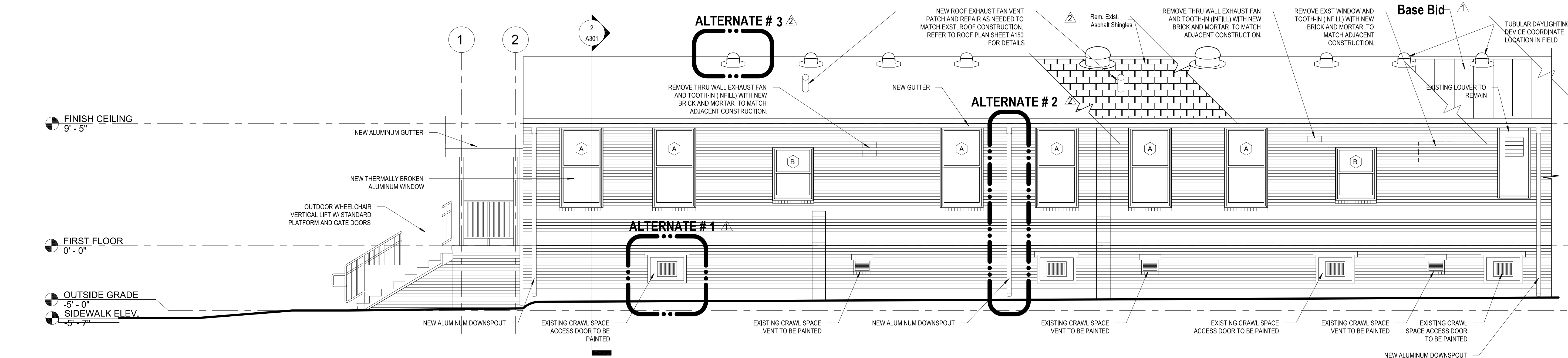
IN REFERENCE TO DETAILS 2 THRU 6 BELOW, USE THE ROOF PANEL MANUFACTURER'S RECOMMENDED FLASHING DETAILS. ALSO, SEE DWG AE500.

SCOPE OF WORK
 BASE BID: Furnish all labor, tools, materials, equipment, and supervision to renovate Building 405B at the VA Medical Center, 510 Butler Avenue, Martinsburg, WV 25405 in accordance with the drawings and specifications. Work includes, but is not limited to, general construction, alterations, interior and exterior demolition, asbestos abatement, gypsum board, metal stud walls, finishes, painting, HVAC, plumbing and electrical work, data and telecommunications systems, radiant flooring, porch replacement, concrete sidewalks, and installation of a wheelchair lift.

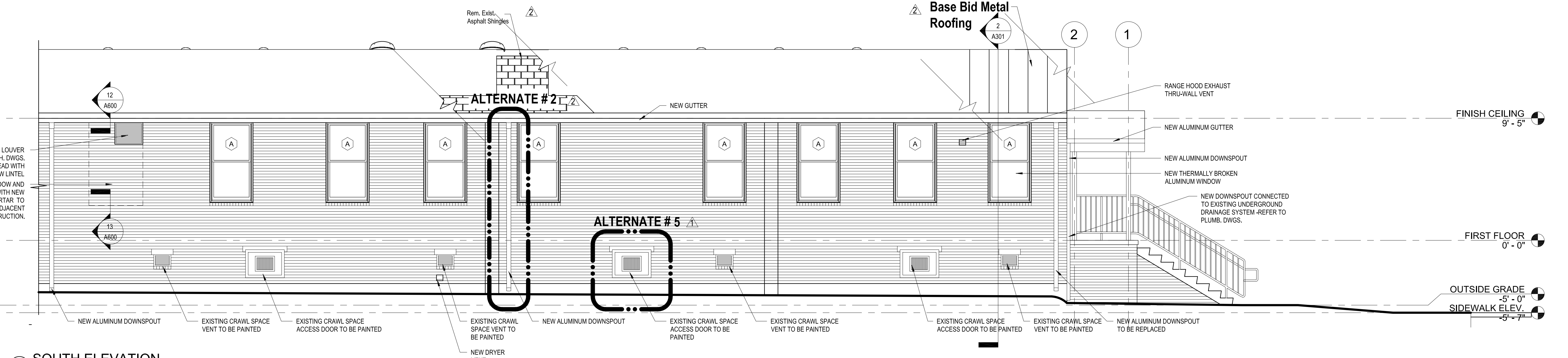
Alternates described below are deductive alternates. Base bid shall include all work described in or reasonably inferable from the Bidding Documents.

- ALTERNATES and Items Revised to BASE BID:
- BASE BID: Remove solar domestic water tank and piping connections. Replace with electric domestic hot water tank. Solar panels and storage tank shall remain for radiant floor heating.
 - BASE BID: Remove solar panels, solar storage tank, solar panels and all associated piping for solar connections to radiant floor. Radiant floor will be heated through electric hot water tank.
 - BASE BID: Remove all pex tubing, manifolds, electric storage tank and all associated equipment for radiant floor system. Replace sheathing and underlayment with plywood as required to maintain finish floor elevation.
 - ALTERNATE NO. 1: Delete painting of existing exterior grates, trim, fasciae, underside of existing exterior soffit, and other items on the north and south elevations. Price shall be all work of the base bid except Alternate No. 1.
 - ALTERNATE NO. 2: Delete replacement of existing gutters and downspouts. Price shall be all work of the base bid except Alternates Nos. 1, 2.
 - ALTERNATE NO. 3: Remove tubular day lighting devices and controls and replace with LED downlights. Price shall be all work of the base bid except Alternate Nos. 1, 2, 3.

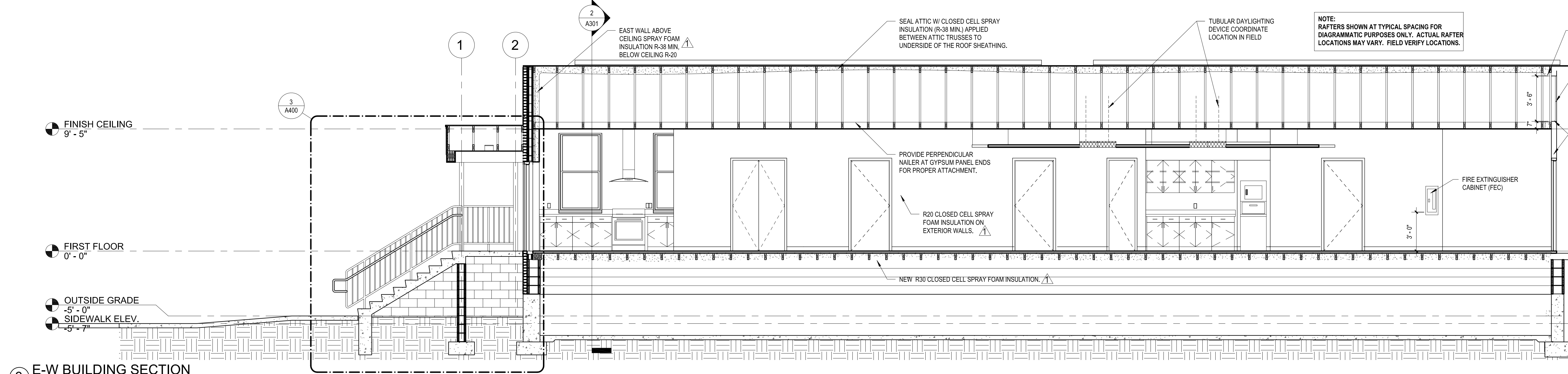
NOTE:
 ALL SPRAY FOAM INSULATION SHALL COMPLY WITH THE REQUIREMENTS OF ICC-ES AC 377 APPENDIX X FOR USE IN ATTICS AND CRAWL SPACES WITHOUT A PRESCRIPTIVE IGNITION BARRIER.



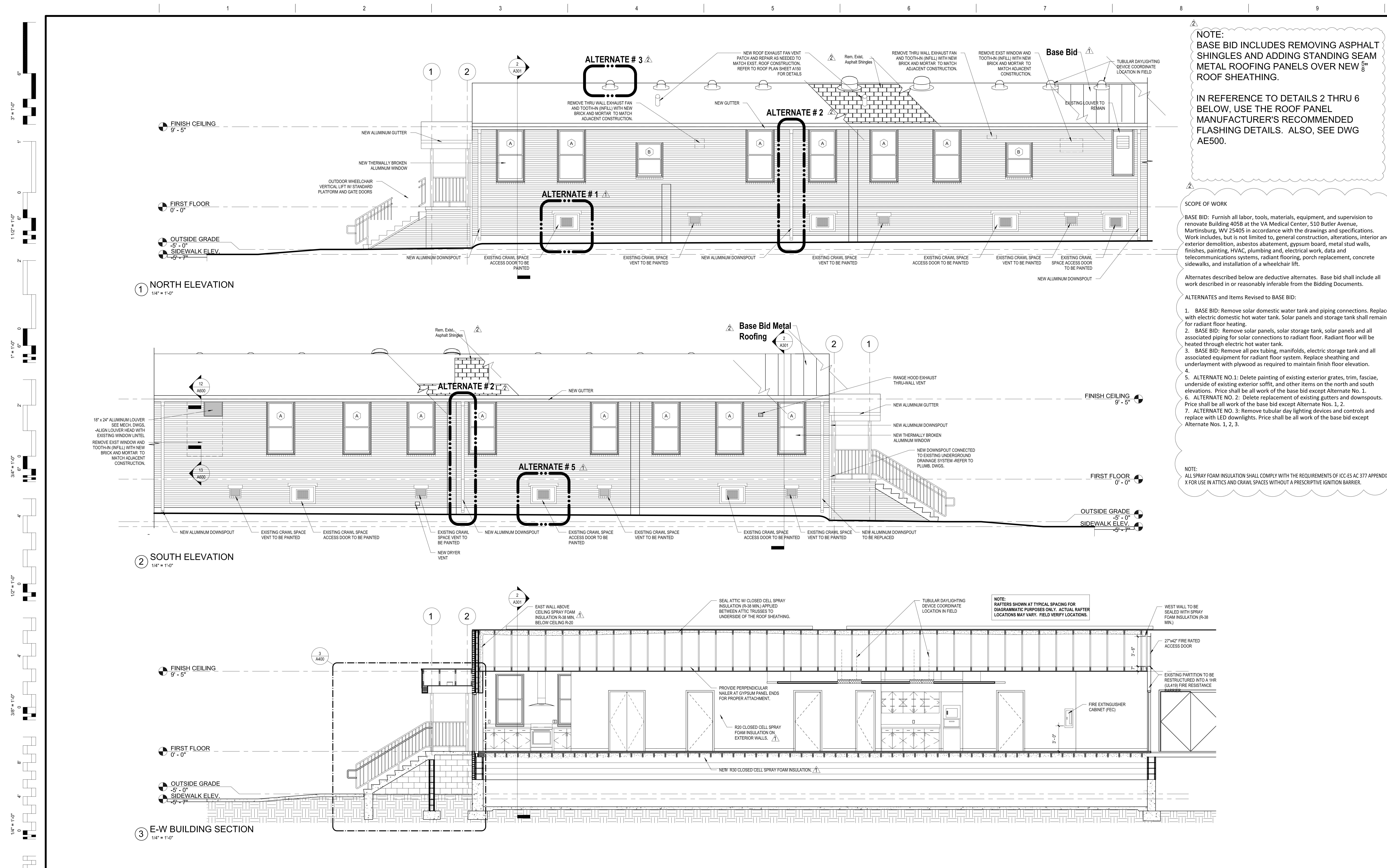
1 NORTH ELEVATION
 1/4" = 1'-0"



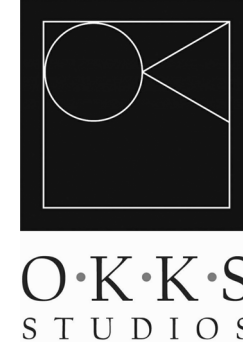
2 SOUTH ELEVATION
 1/4" = 1'-0"



3 E-W BUILDING SECTION
 1/4" = 1'-0"



Revisions by the VA	03/11/2022
Revisions by the VA	09/19/2019
100% Construction Documents Submission	05/31/13
95% Construction Documents Submission	05/10/13
60% Design Development Submission	03/26/13
Revisions:	Date

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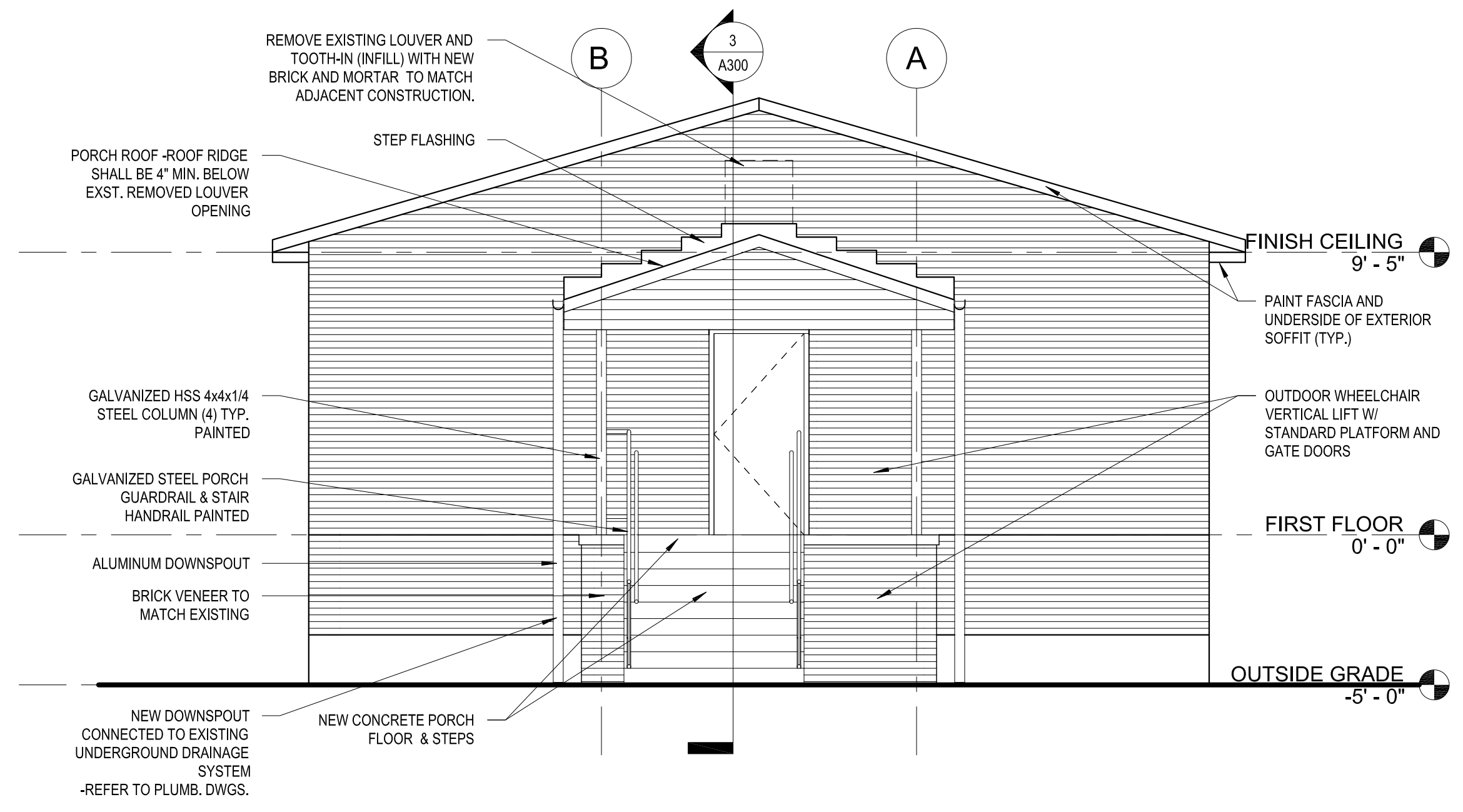
Stamp/Seal

Drawing Title
EXTERIOR ELEVATIONS & BUILDING SECTIONS
 Approved: Project Director

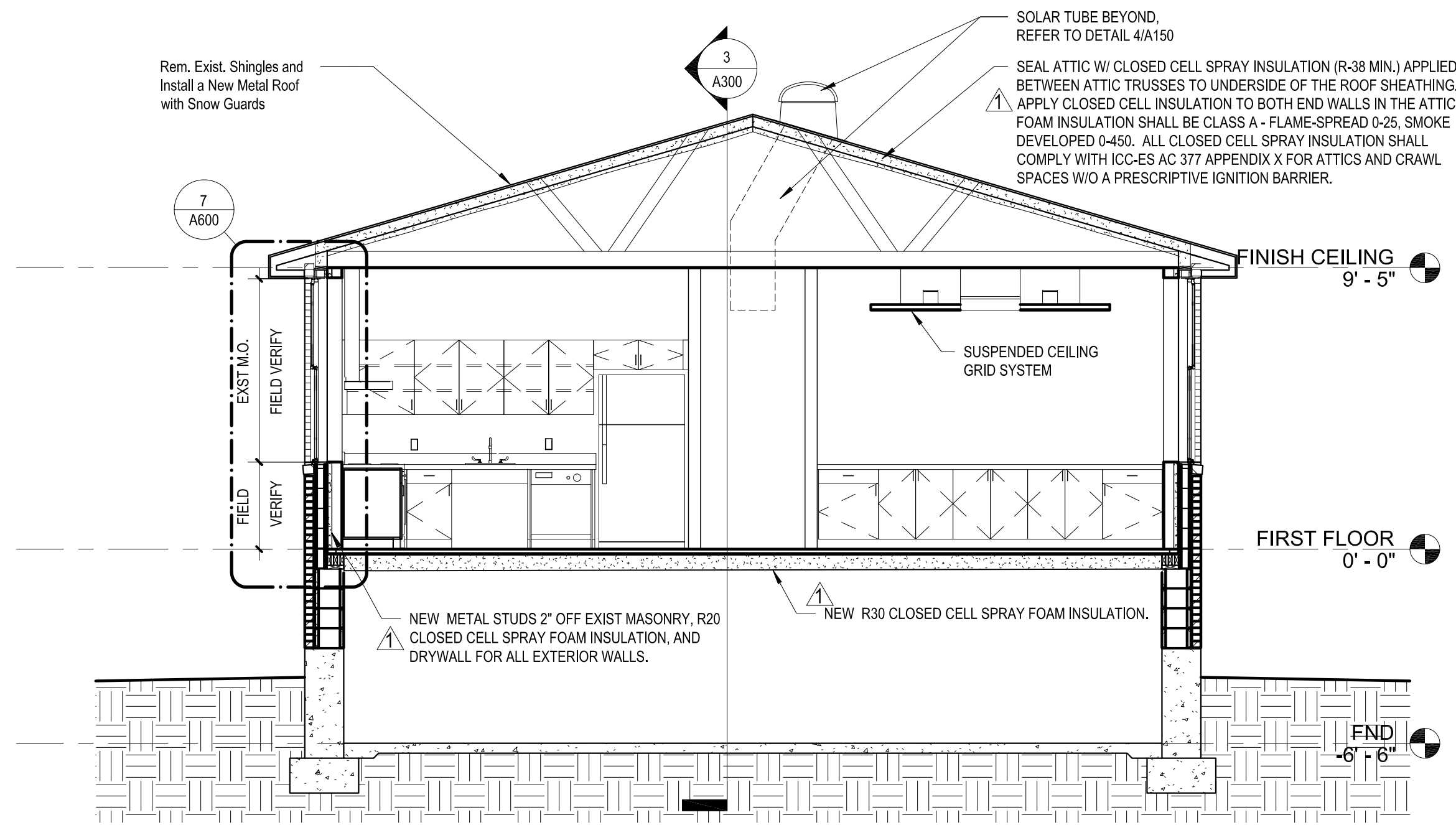
Project Title
BUILDING 405B RENOVATIONS
 Location
MARTINSBURG, WV
 Date
 05/31/2013
 Checked
 TOS
 Drawn
 LM/RO

VA Project Number
613-13-115
 Building Number
405B
 Drawing Number
A300

Office of Construction and Facilities Management

 Department of Veterans Affairs



1 EAST ELEVATION
1/4" = 1'-0"



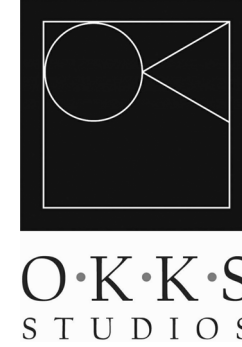
2 N-S BUILDING SECTION
1/4" = 1'-0"

6"
1'
1 1/2" = 1'-0"
2'
1" = 1'-0"
3"
3/4" = 1'-0"
4'
1/2" = 1'-0"
4"
3/8" = 1'-0"
8"
1/4" = 1'-0"
4"
1/8" = 1'-0"
4"

A
B
C
D
E
F

Revisions by the VA	03/11/2022
Revisions by the VA	09/19/2019
100% Construction Documents Submission	05/31/13
95% Construction Documents Submission	05/10/13
60% Design Development Submission	03/26/13
Revisions:	Date

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Stamp/Seal

Drawing Title
EXTERIOR ELEVATIONS & BUILDING SECTIONS

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
05/31/2013

Checked
TOS

Drawn
LM/RO

VA Project Number
613-13-115

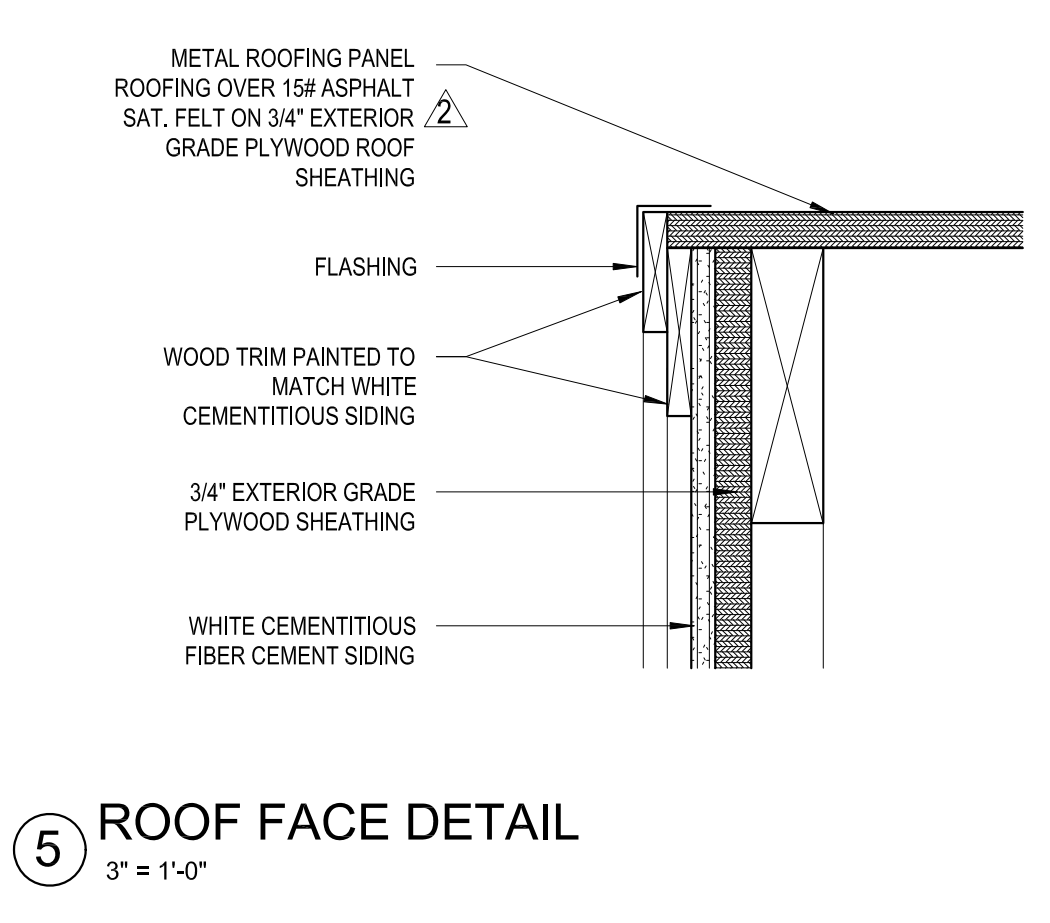
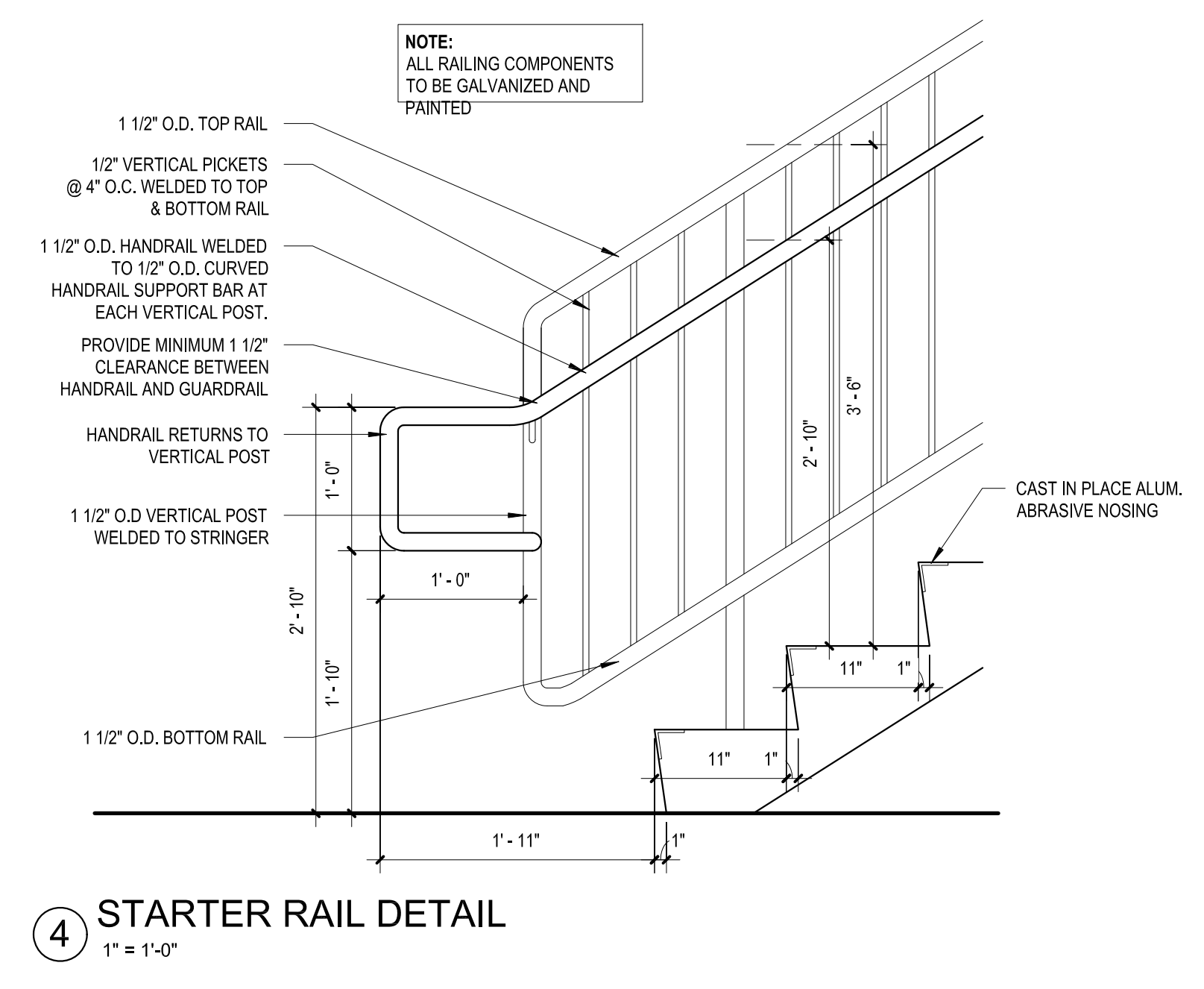
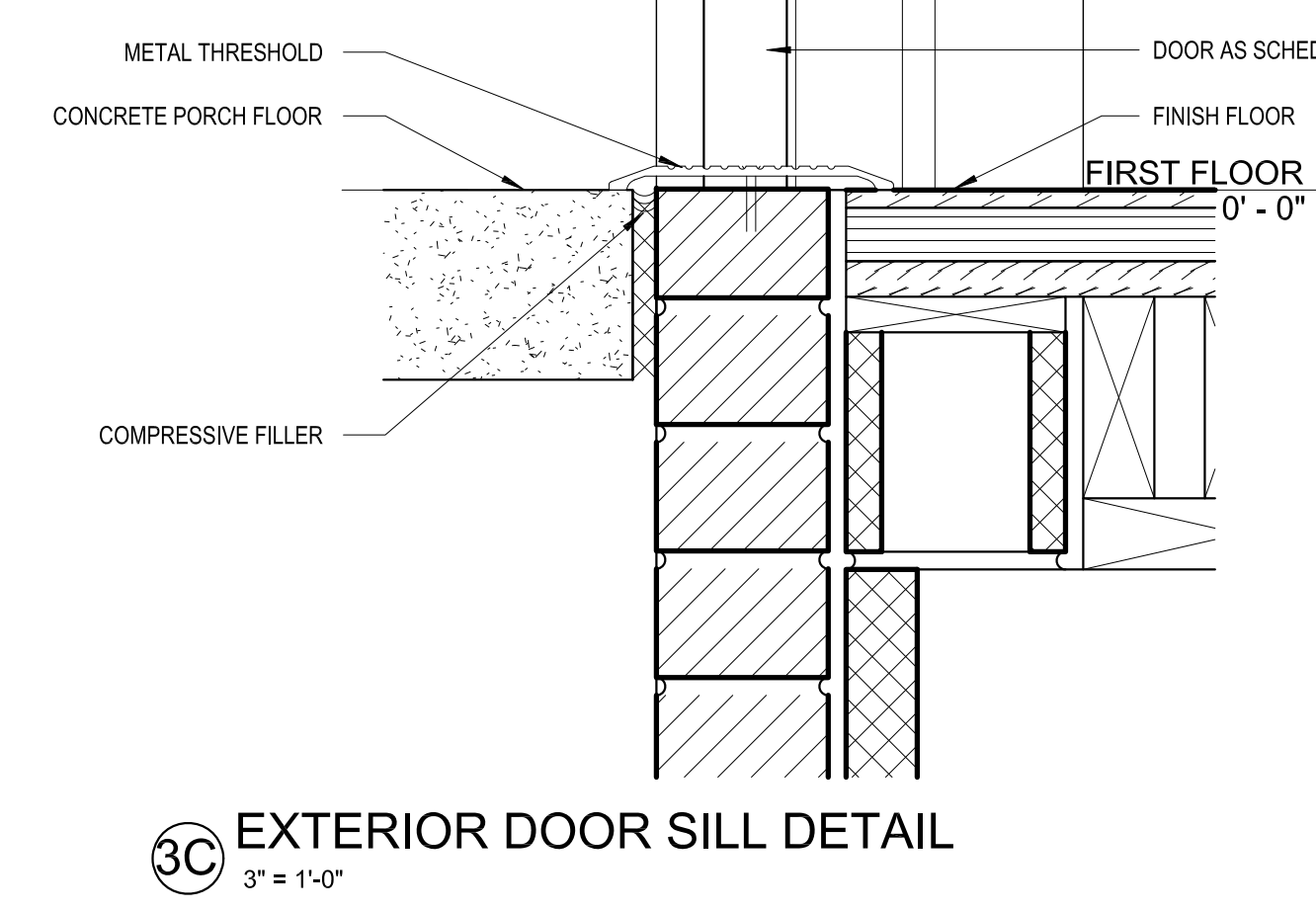
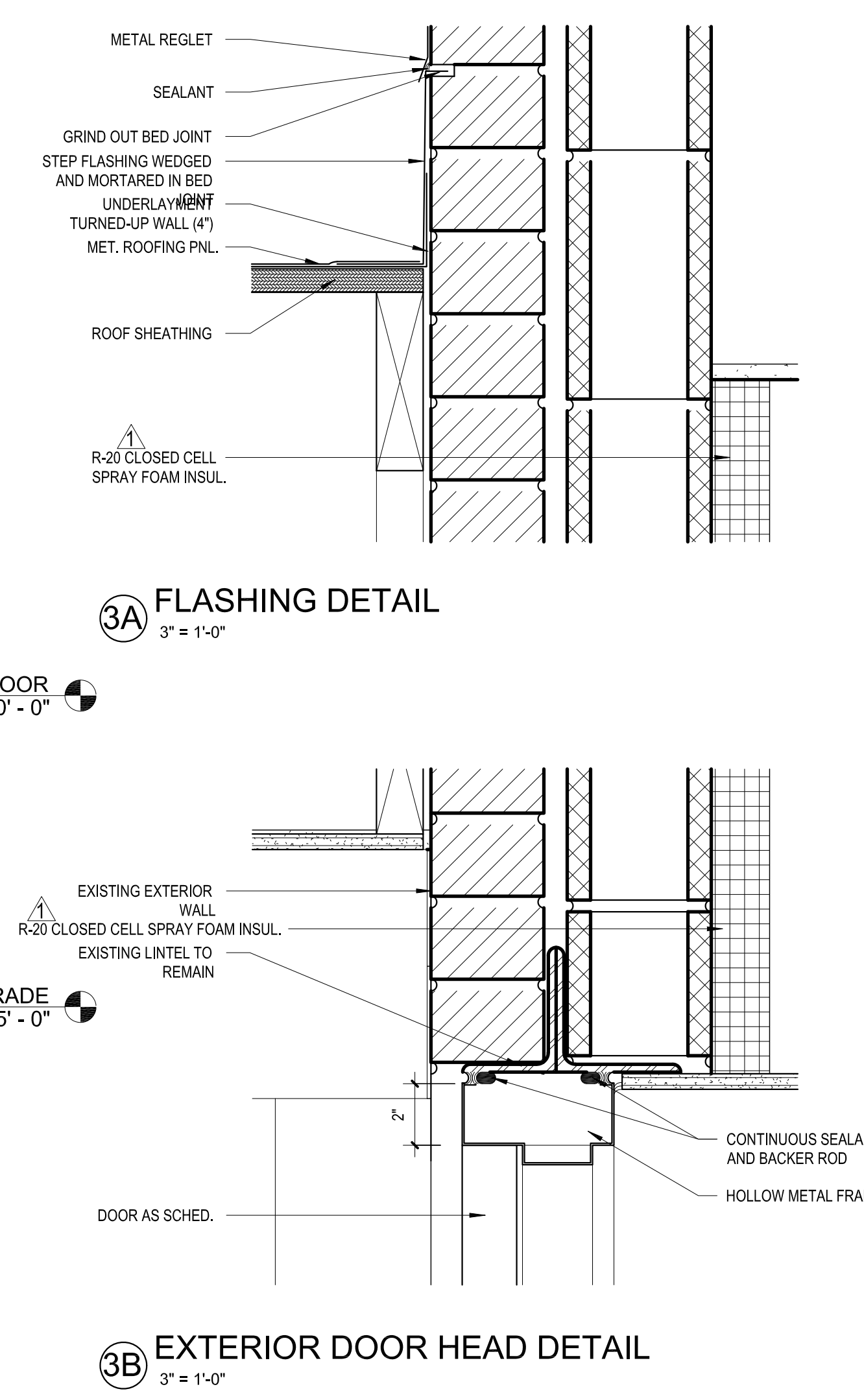
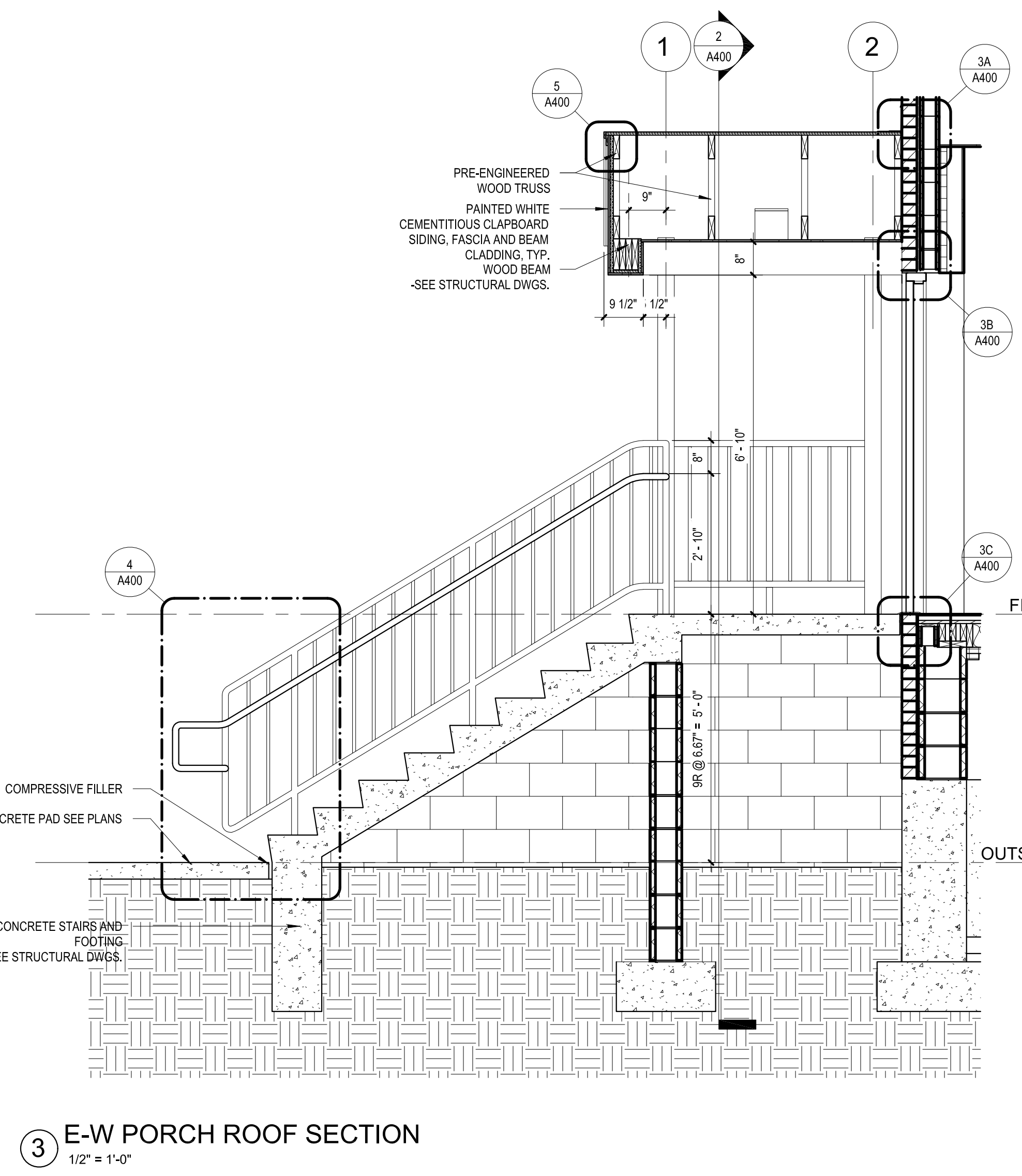
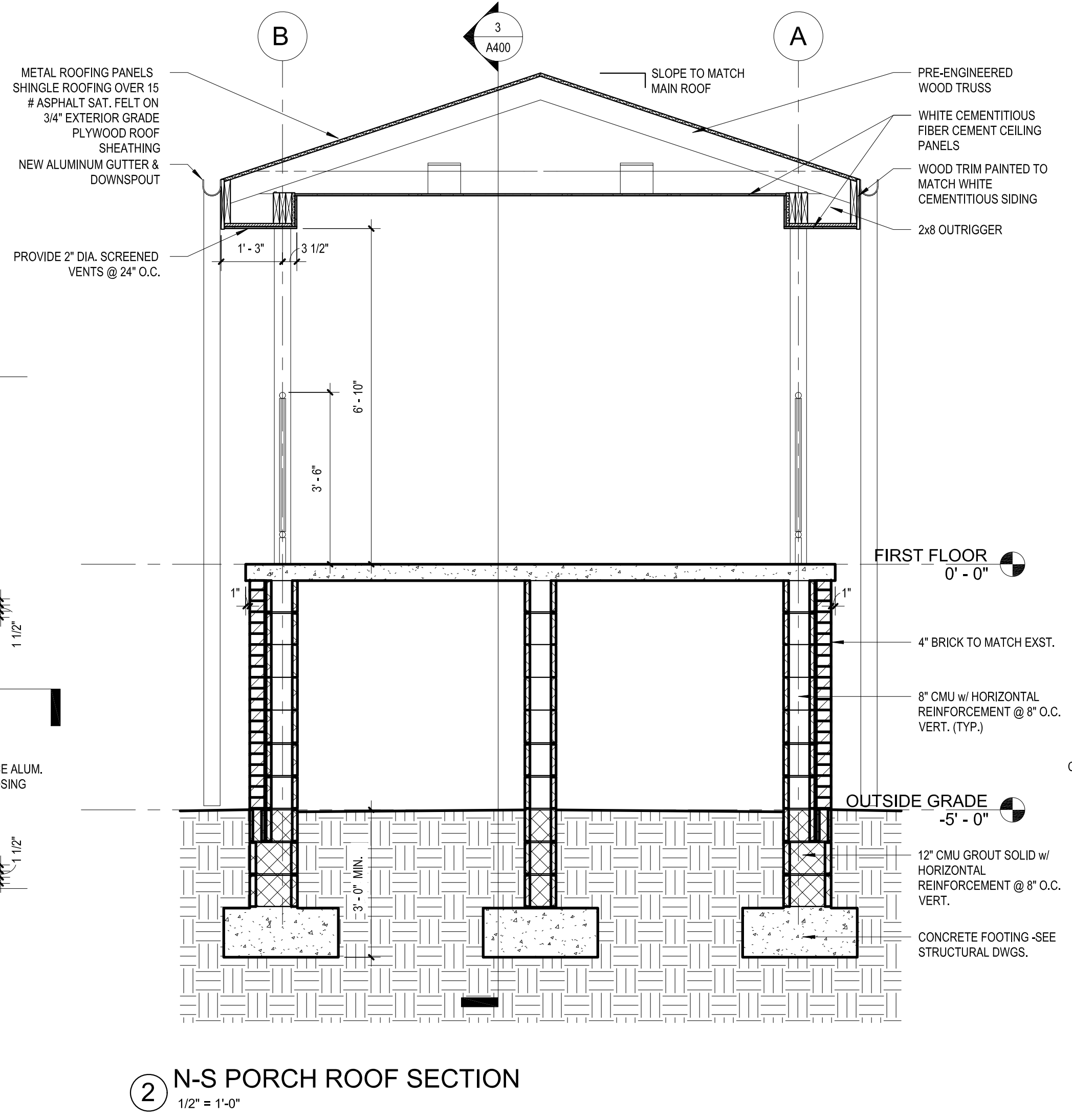
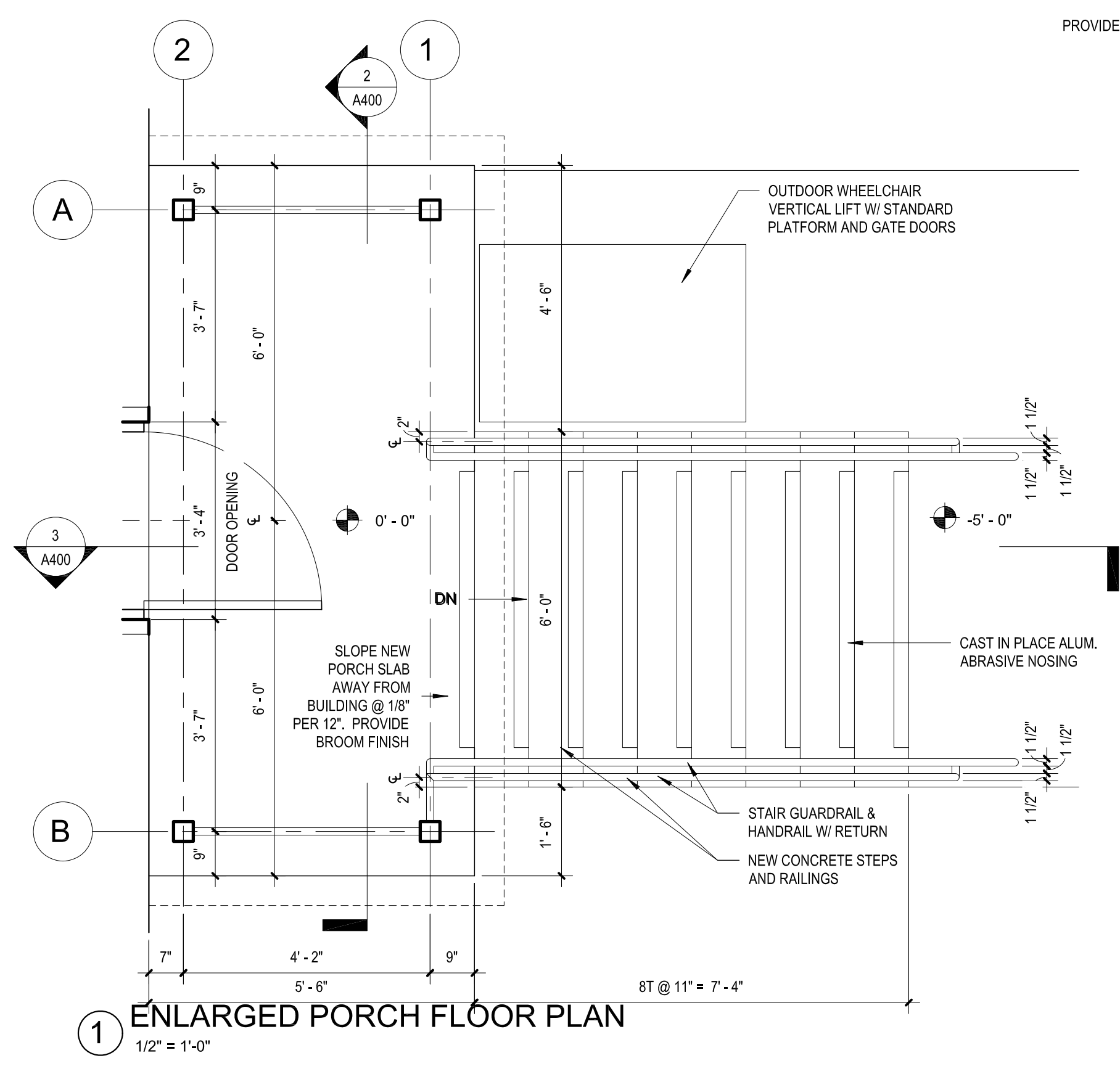
Building Number
405B

Drawing Number
A301

Office of Construction and Facilities Management



Department of Veterans Affairs



Revisions by the VA	03/11/2022
Revisions by the VA	09/19/2019
100% Construction Documents Submission	05/31/13
95% Construction Documents Submission	05/10/13
60% Design Development Submission	03/26/13
Revisions:	Date

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Mechanical Electrical & Plumbing Engineers

Stamp/Seal

Drawing Title
ENLARGED PORCH & LIFT PLANS AND SECTIONS

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
05/31/2013

Checked
TOS


Drawn
LM/RO

VA Project Number
613-13-115

Building Number
405B

Drawing Number
A400

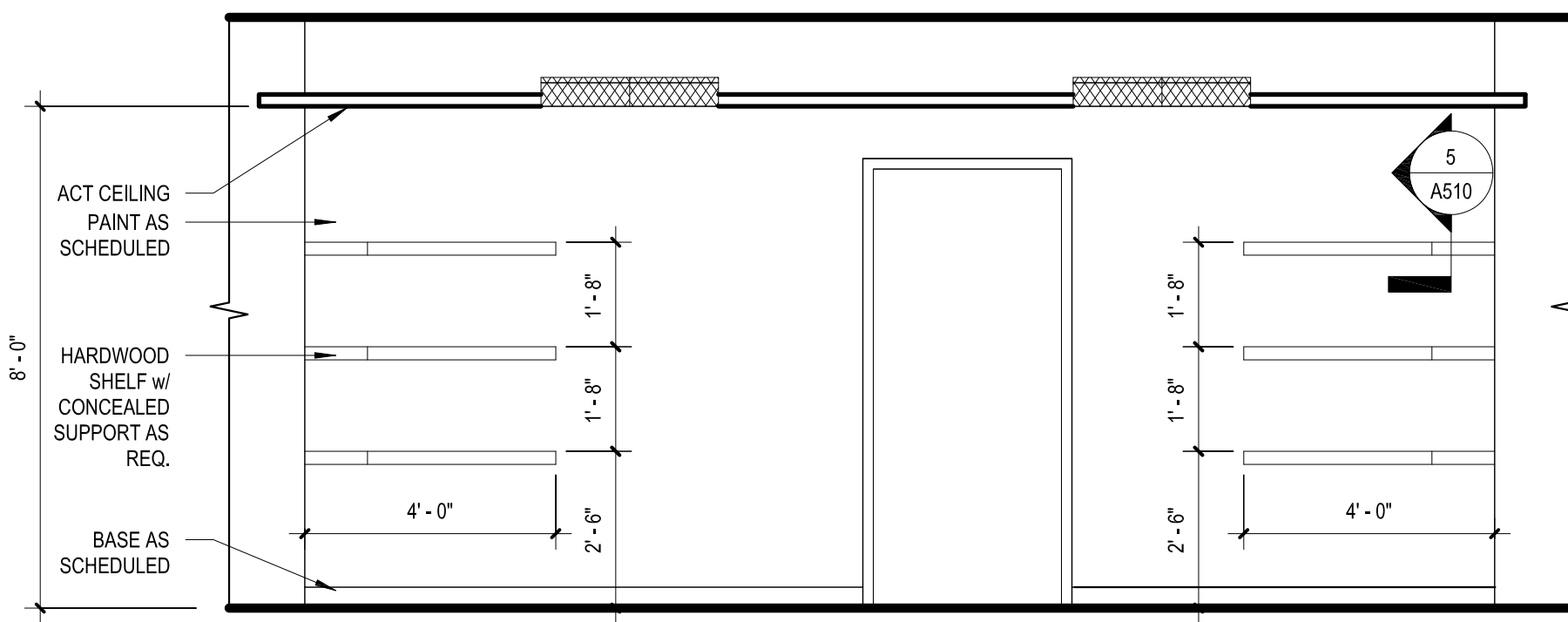
Office of Construction and Facilities Management



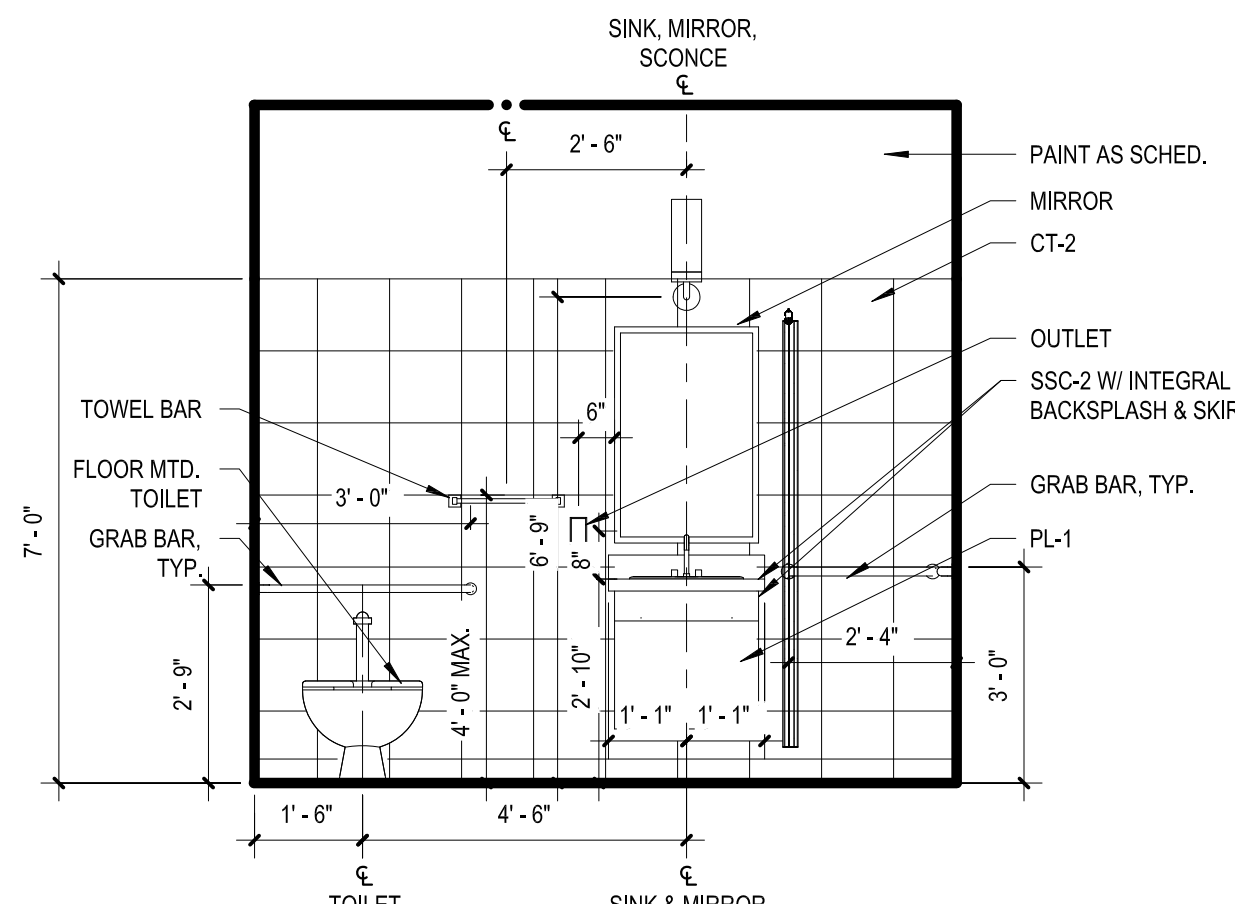
Department of Veterans Affairs

ELEVATIONS & EQUIPMENT GENERAL NOTES:

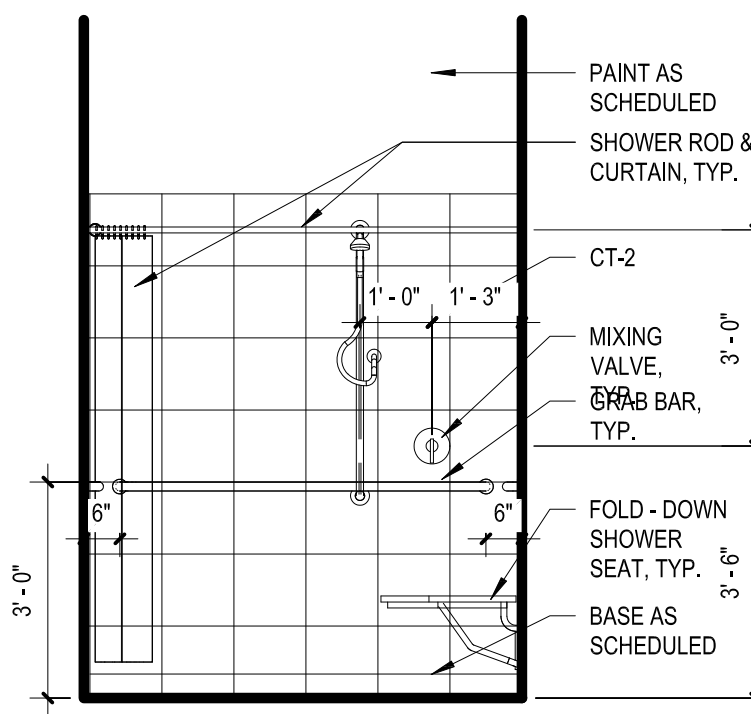
- A. FOR ALL INTERIOR WOODWORK PROVIDE MATERIALS, FABRICATIONS AND FINISH THAT COMPLIES WITH AIA's "ARCHITECTURAL WOODWORK QUALITY STANDARDS" FOR PREMIUM GRADE OF INTERIOR ARCHITECTURAL WOODWORK.
- B. CONTRACTOR TO PROVIDE ALL IN-WALL BLOCKING FOR OWNER AND CONTRACTOR PROVIDED WALL EQUIPMENT. REFER TO ALL EQUIPMENT MANUFACTURERS SPECIFICATIONS REGARDING SUPPORT REQUIREMENTS AND WEIGHT INFORMATION INCLUDING ITEMS NOT SHOWN HERE.
- C. EXTEND ALL BLOCKING TO ADJACENT STUDS. ADD ADDITIONAL STUDS AS REQUIRED.
- D. TYPES AND AMOUNT OF BLOCKING MAY VARY FOR DIFFERENT EQUIPMENT.
- E. PROVIDE BLOCKING BEHIND ANY WALL OR CEILING HUNG ITEMS, SUCH AS WALL MOUNTED TV's, CEILING FANS, TOWEL BARS, GRAB BARS, LIGHTING FIXTURES, DOOR BUMPERS, ETC. COORDINATE BLOCKING LOCATIONS IN FIELD.



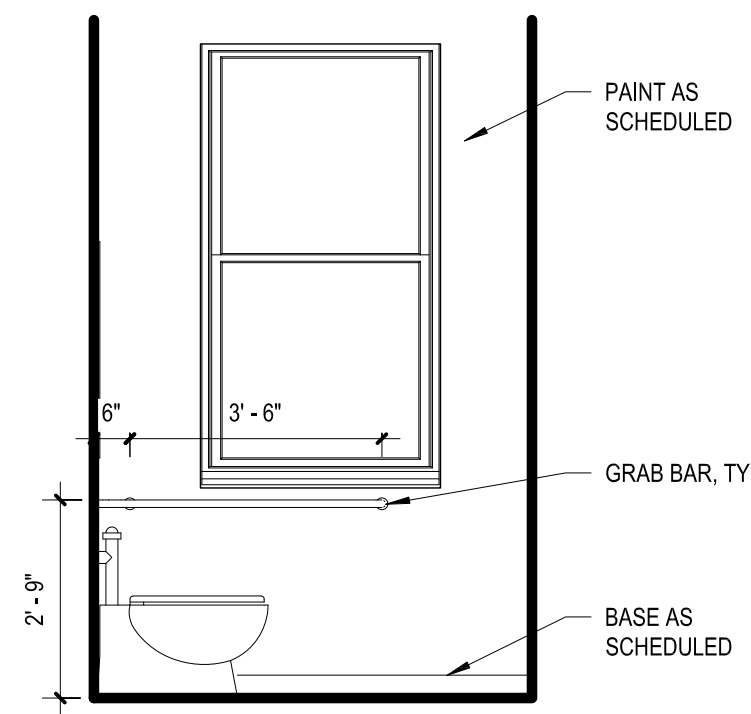
1 405B CORRIDOR - NORTH WALL
3/8" = 1'-0"



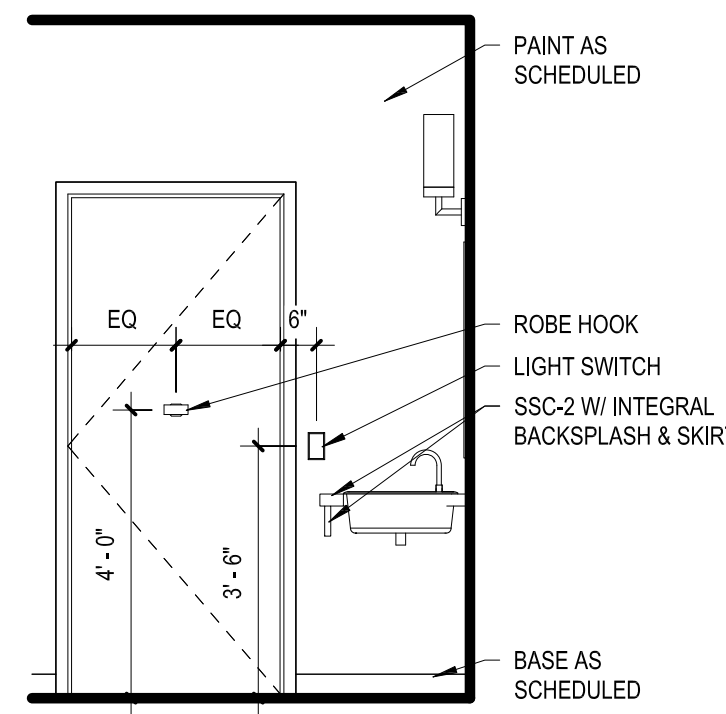
2 405B-4A BATHROOM 1 - EAST WALL
3/8" = 1'-0"



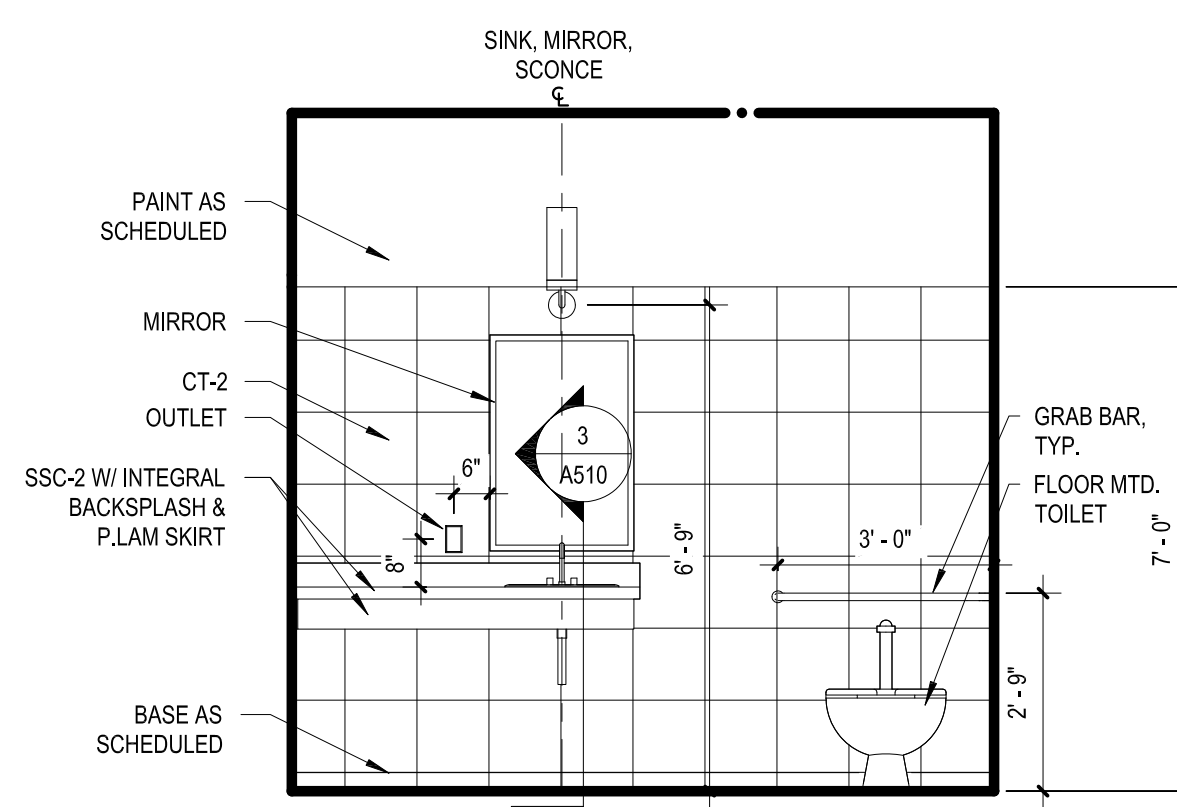
3 405B-4A BATHROOM 1 - SOUTH WALL
3/8" = 1'-0"



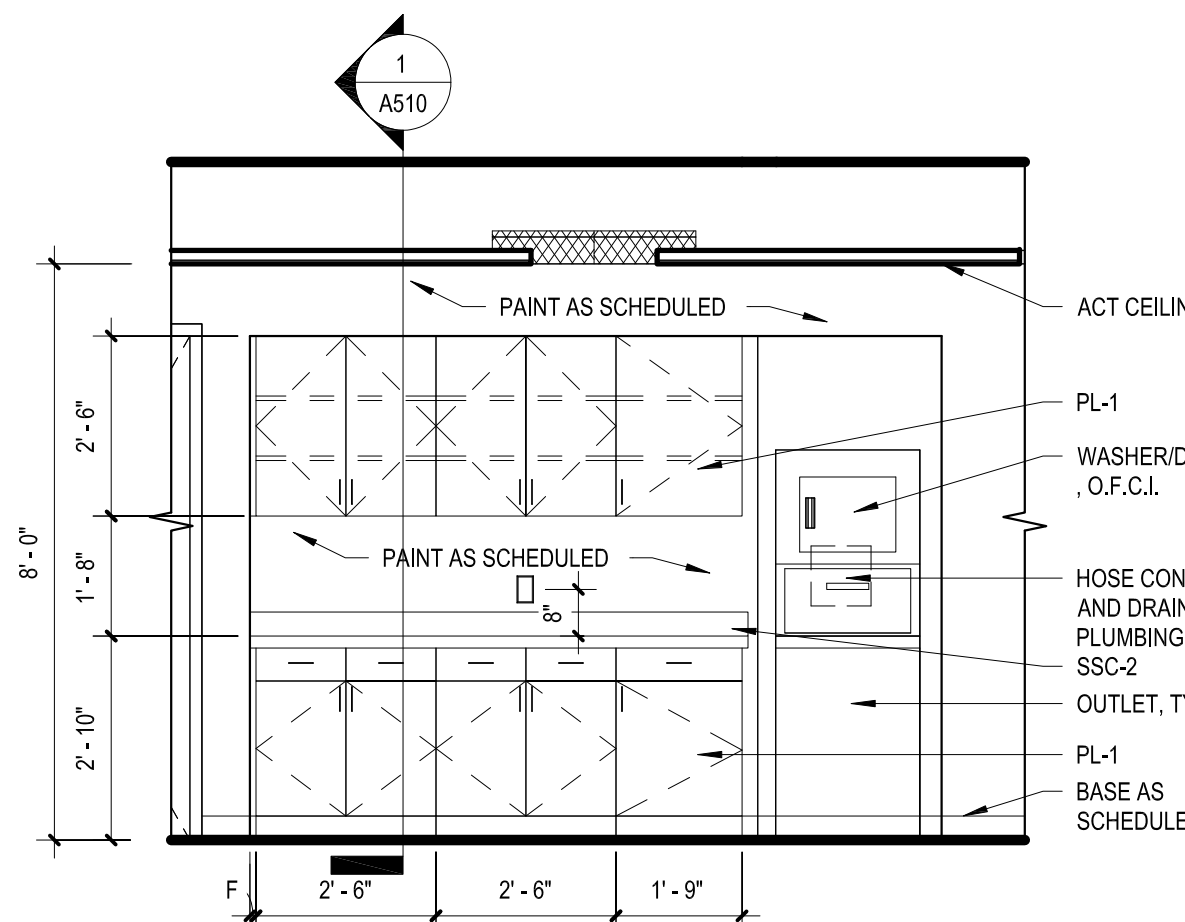
4 405B-6 TOILET ROOM - NORTH WALL
3/8" = 1'-0"



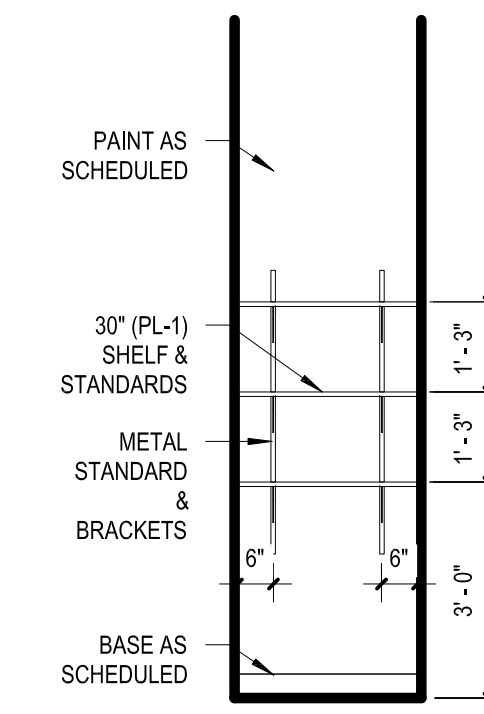
5 405B-6 TOILET ROOM - SOUTH WALL
3/8" = 1'-0"



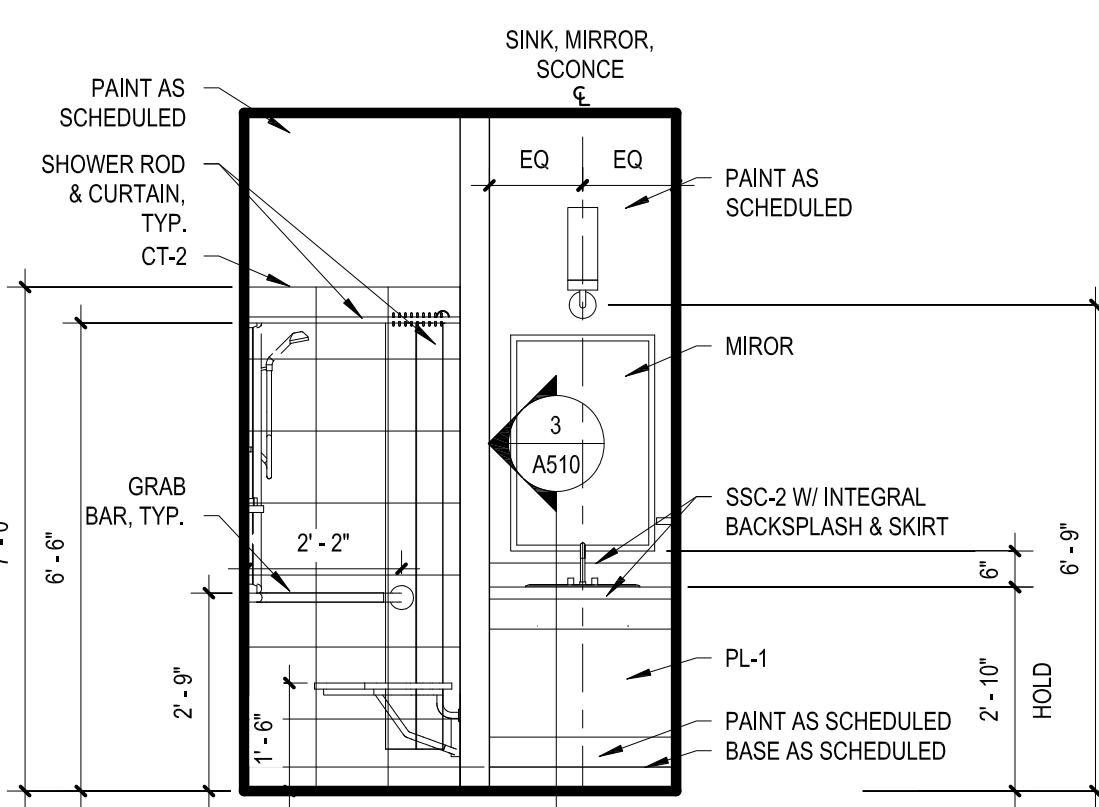
6 405B-6 TOILET ROOM - WEST WALL
3/8" = 1'-0"



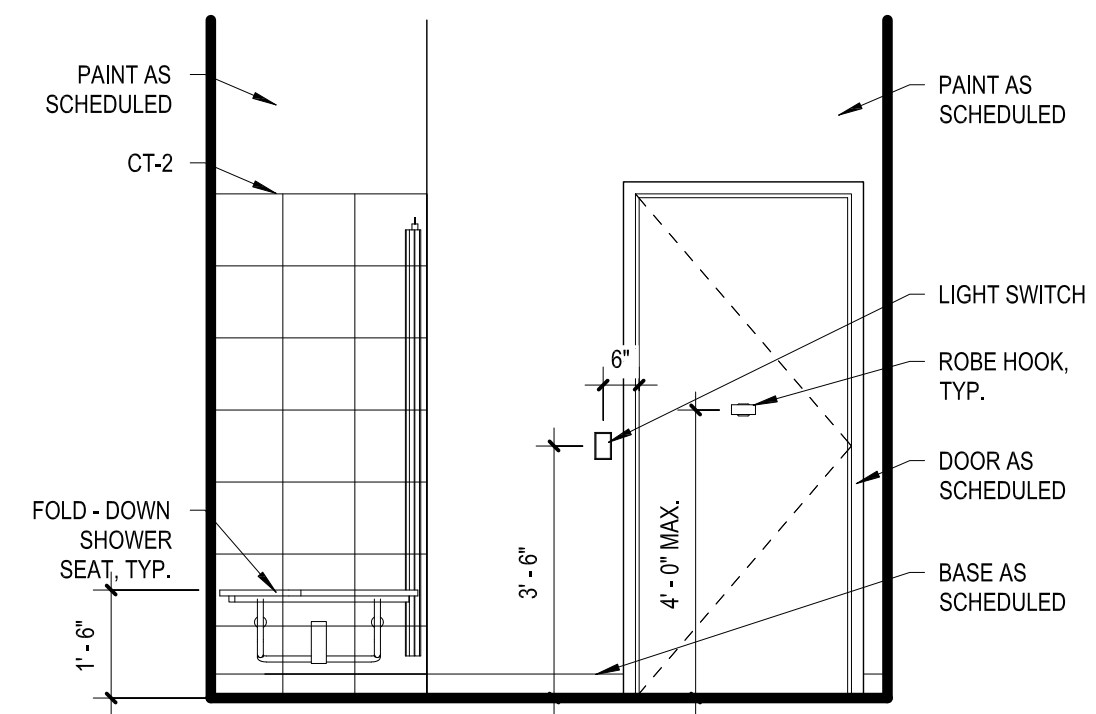
7 405B-7A LAUNDRY
3/8" = 1'-0"



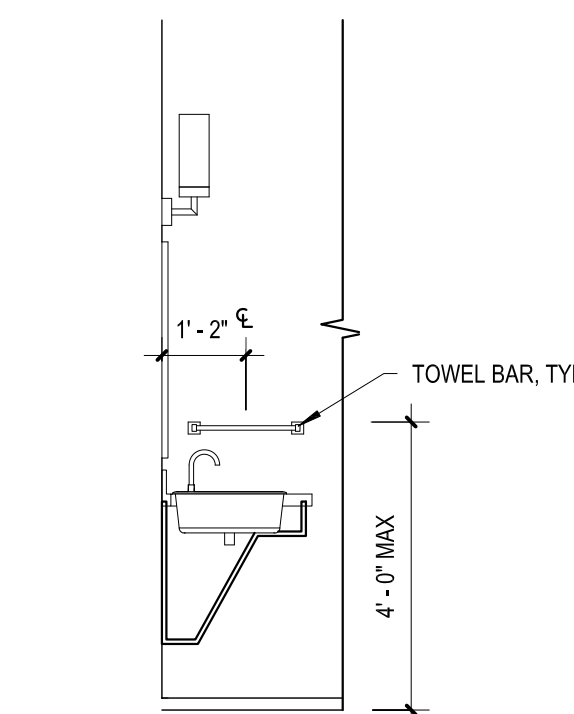
8 405B-7B CLOSET
3/8" = 1'-0"



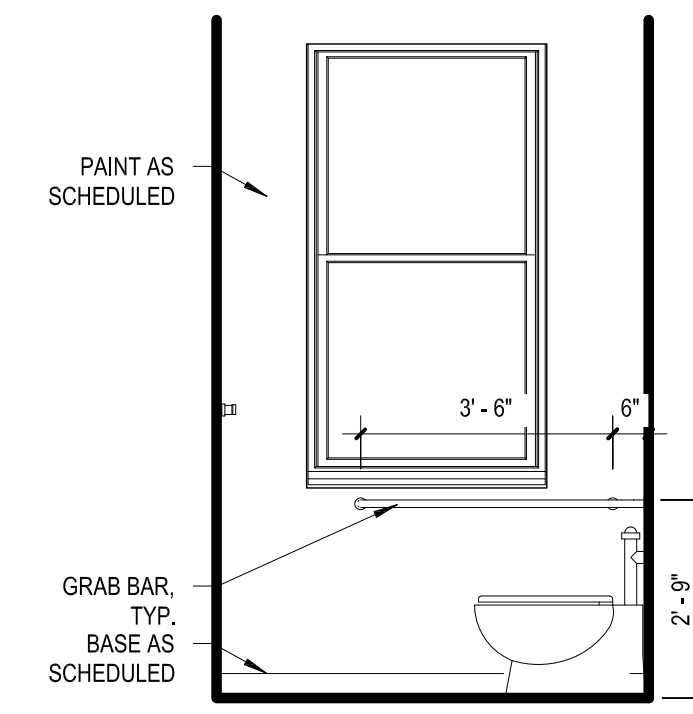
9 405B-8A BATHROOM - TYP. (Sink Wall)
3/8" = 1'-0"



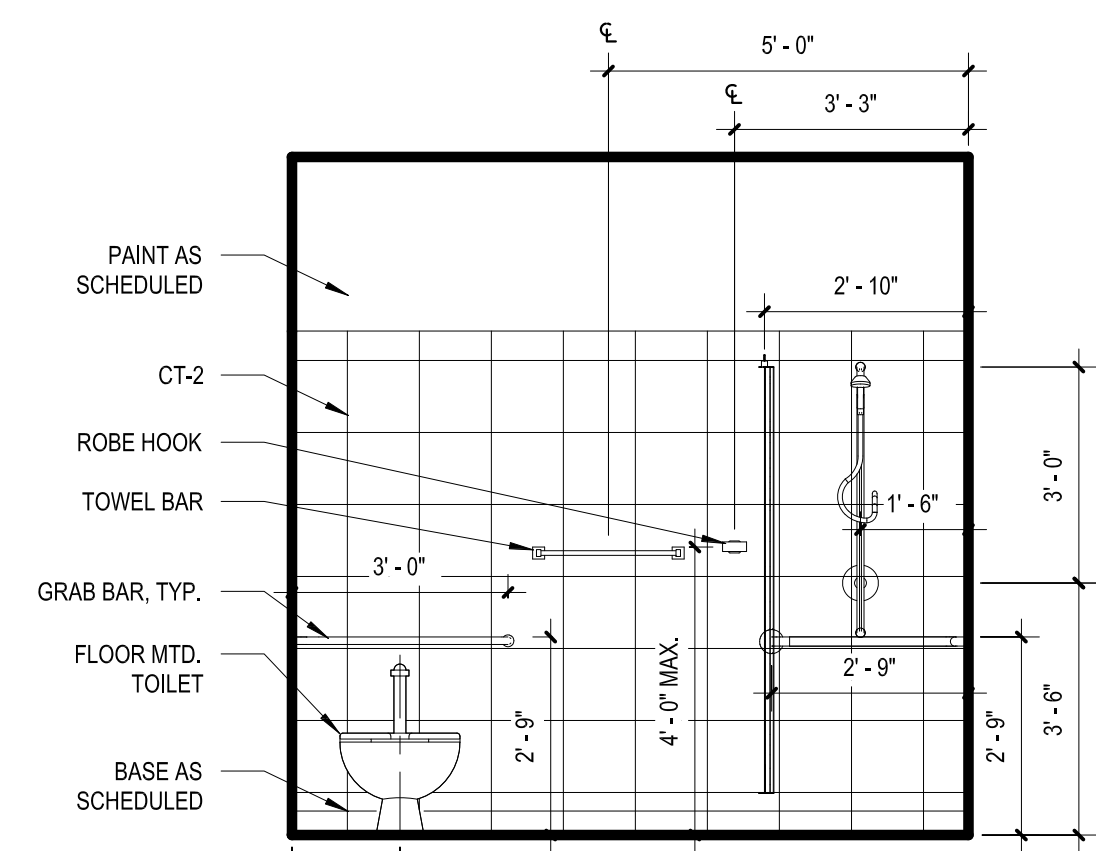
10 405B-8A BATHROOM - TYP (Entry Wall)
3/8" = 1'-0"



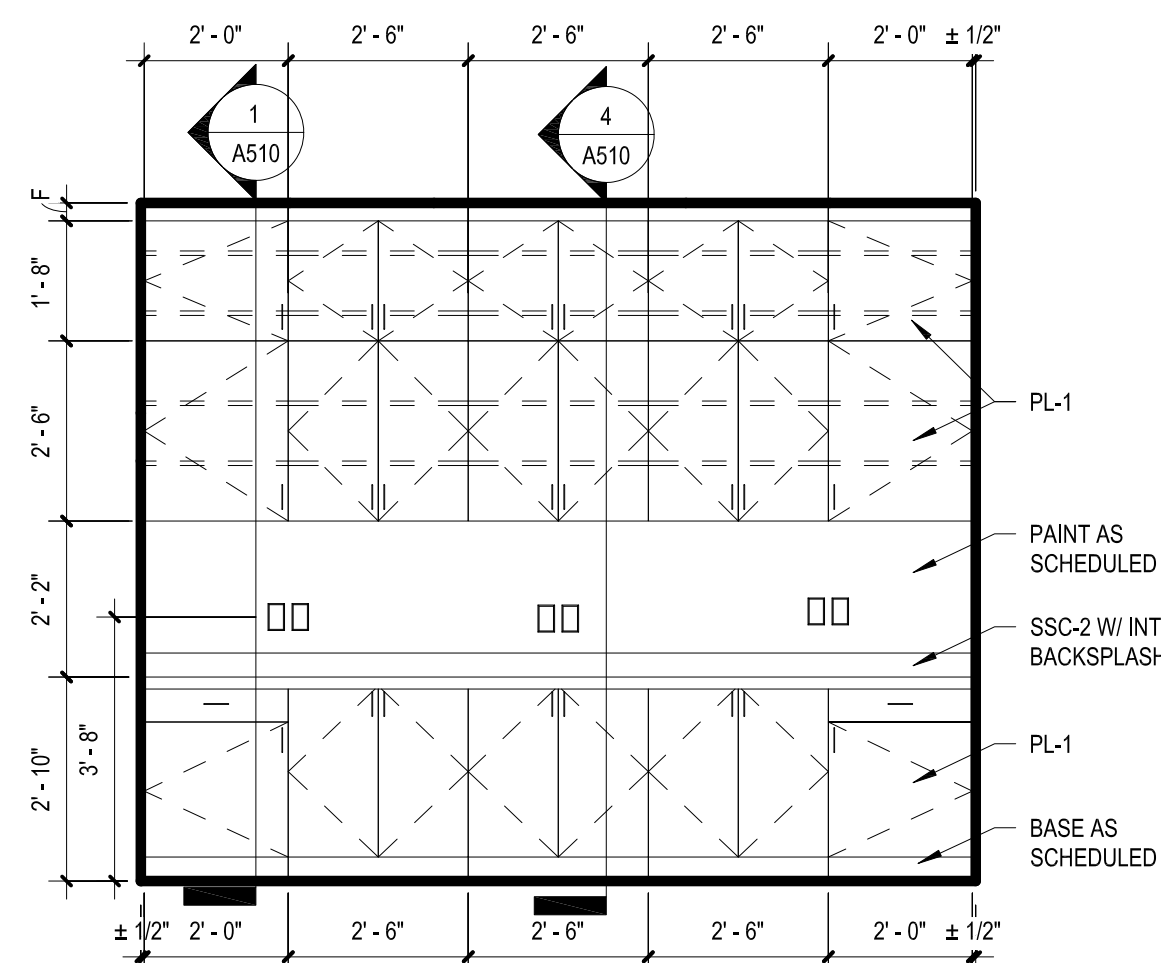
11 405B-8A BATHROOM - TYP (Towel Bar)
3/8" = 1'-0"



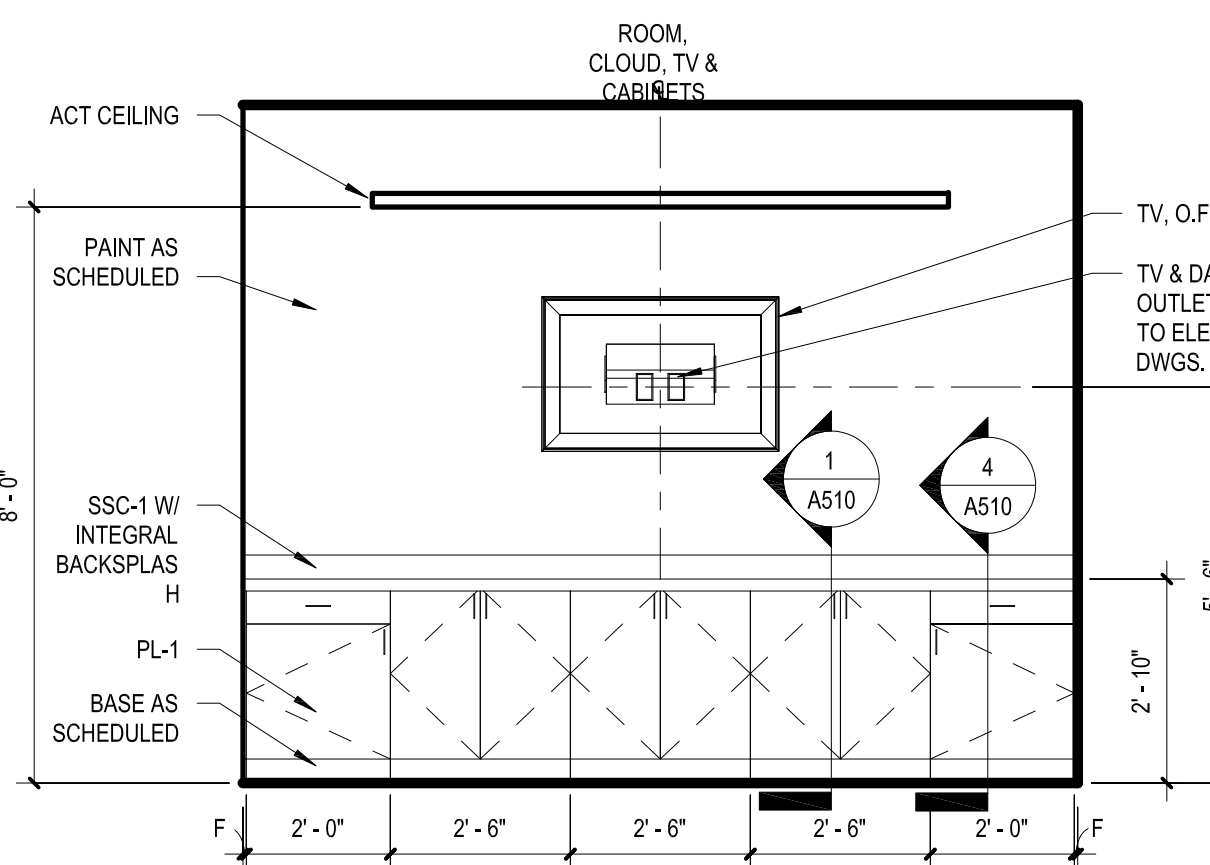
12 405B-8A BATHROOM - TYP (Exterior Wall)
3/8" = 1'-0"



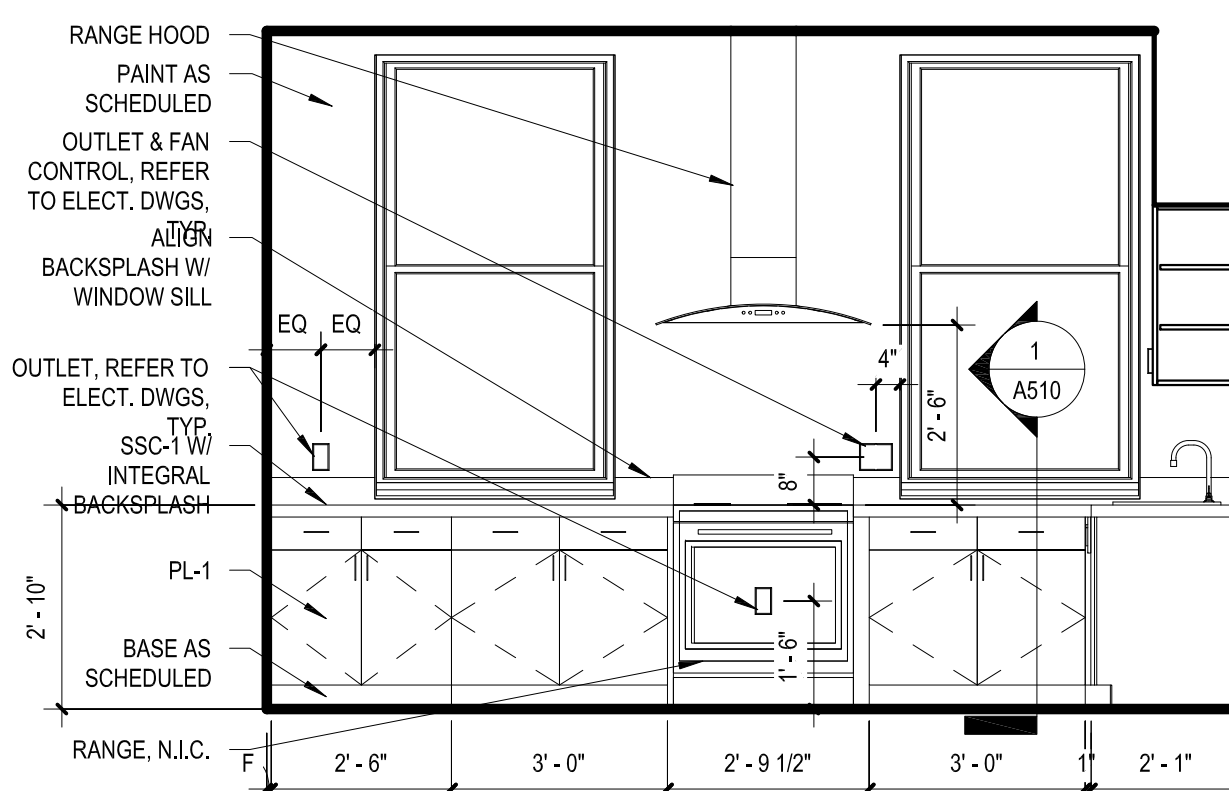
13 405B-8A BATHROOM - TYP (Toilet Wall)
3/8" = 1'-0"



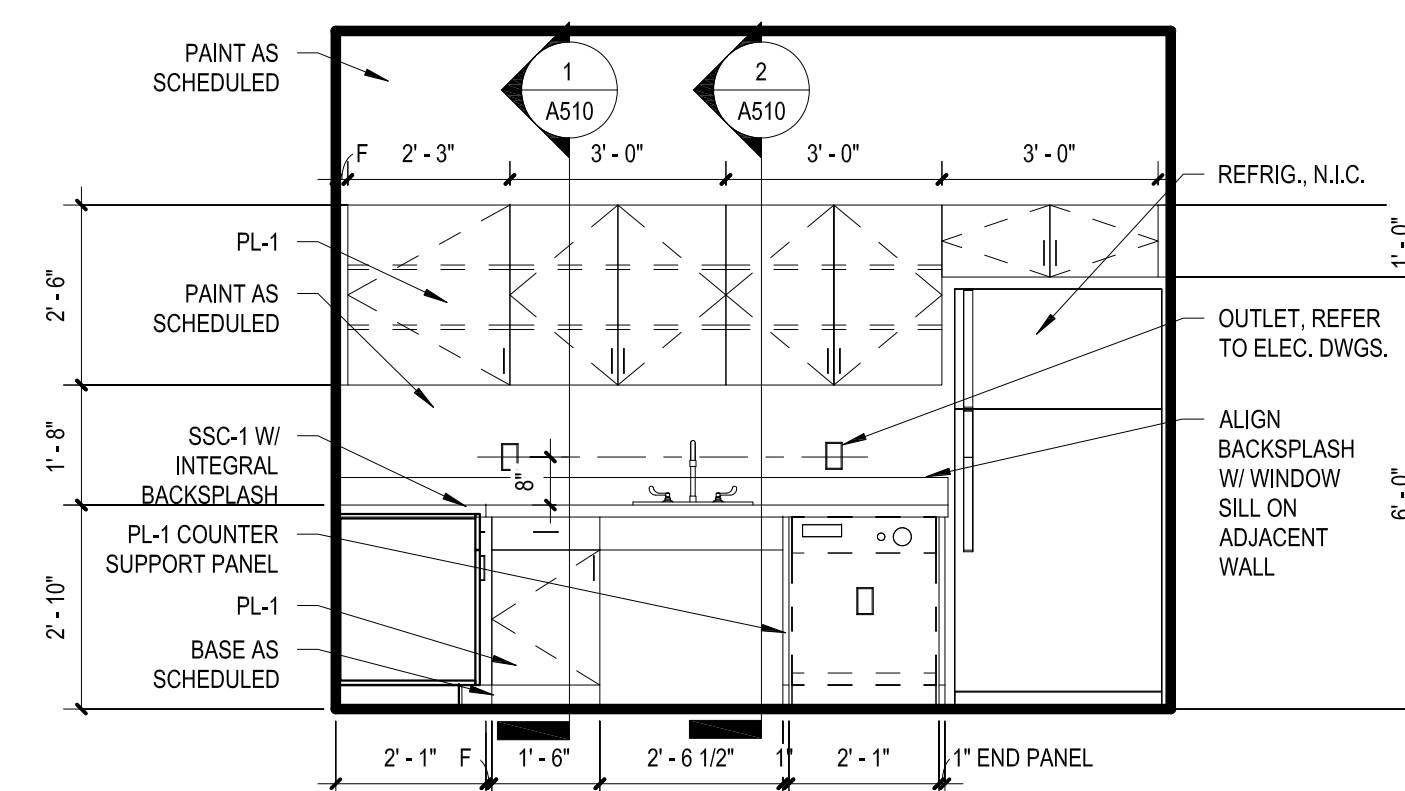
14 405B-11 STORAGE ROOM
3/8" = 1'-0"



15 405B-13 LIVING ROOM
3/8" = 1'-0"



16 405B-14 KITCHEN - SOUTH WALL
3/8" = 1'-0"



17 405B-14 KITCHEN - WEST WALL
3/8" = 1'-0"

Revisions	By	Date
100% Construction Documents Submission	09/19/2019	
95% Construction Documents Submission	05/31/13	
60% Design Development Submission	05/10/13	
	03/26/13	

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Stamp/Seal

Drawing Title
INTERIOR ELEVATIONS

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
05/31/2013

Checked
TOS

Drawn
LM/RO

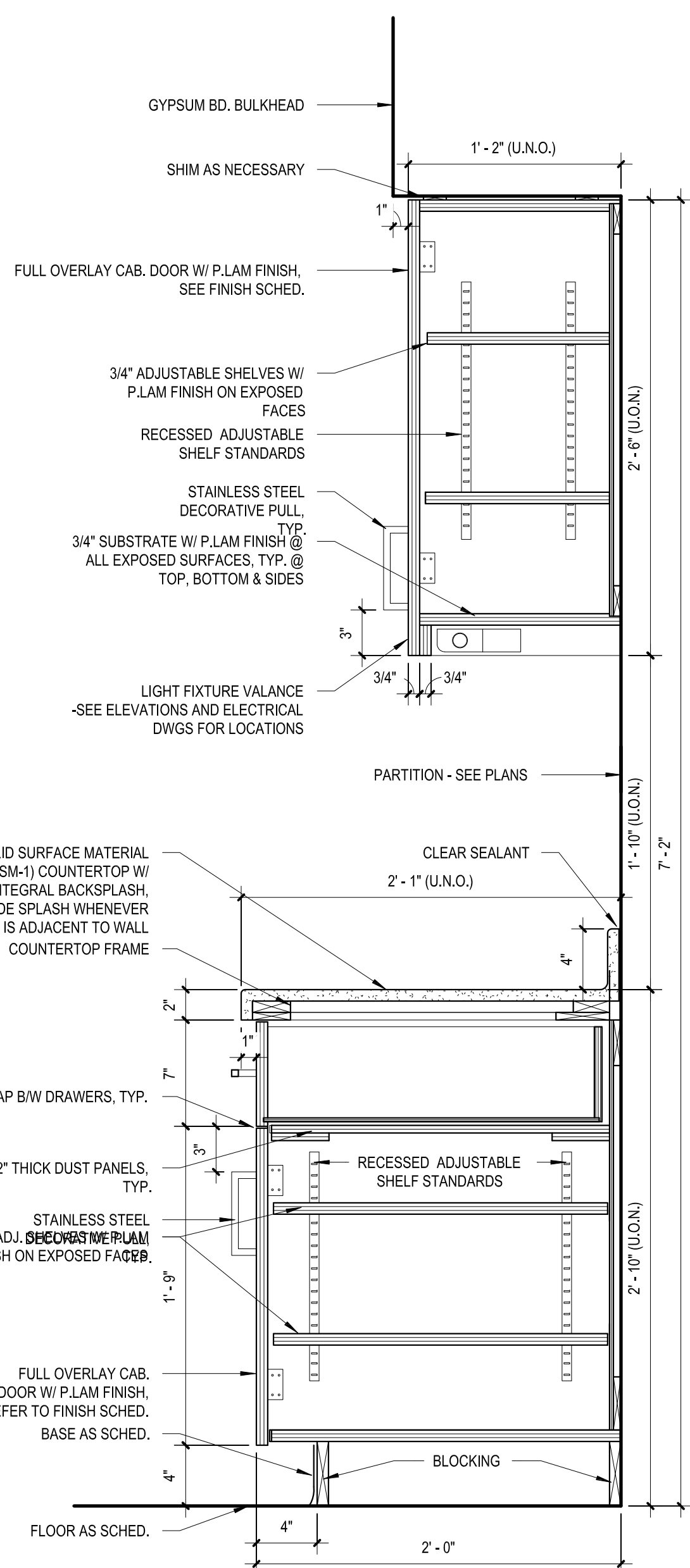
VA Project Number
613-13-115

Building Number
405B

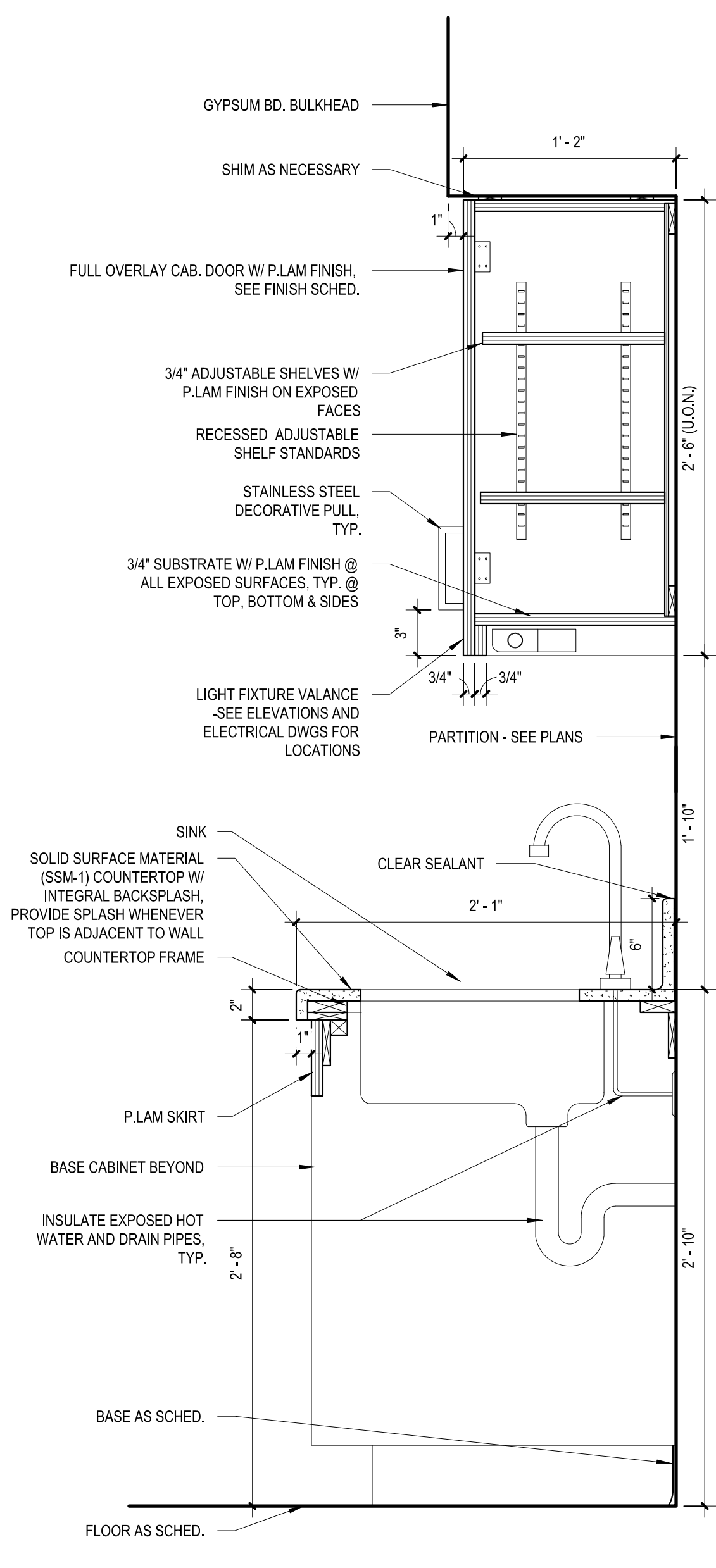
Drawing Number
A500

Office of
Construction
and Facilities
Management

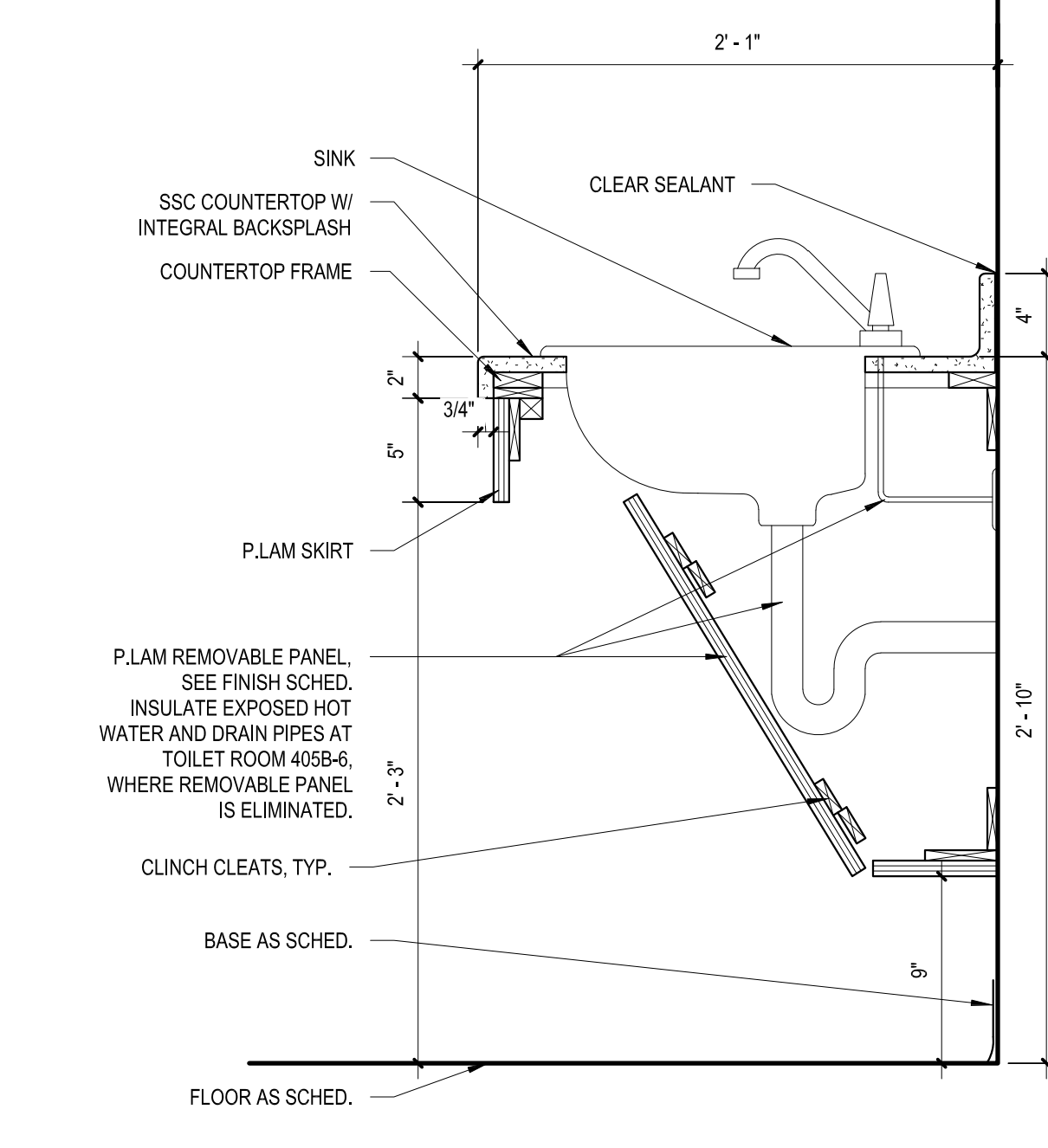
Department of
Veterans Affairs



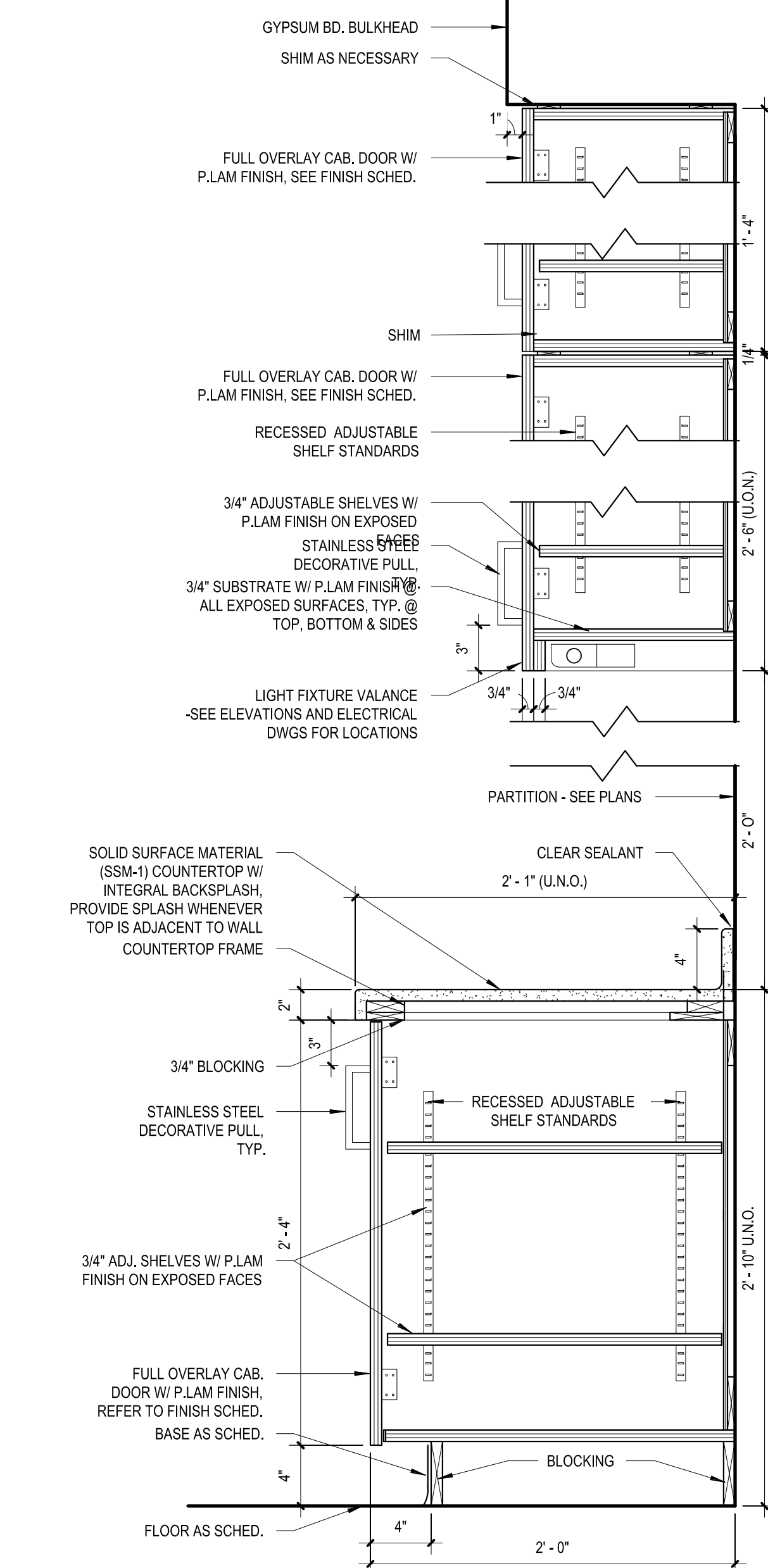
① BASE & WALL CABINET SECTION (w/ Drawer)
1 1/2" = 1'-0"



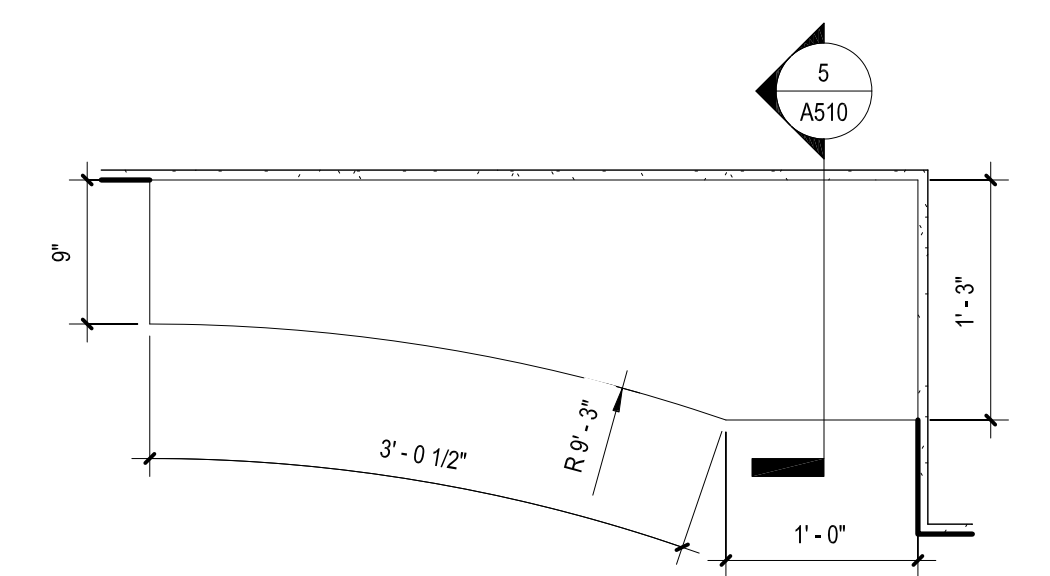
② SINK BASE SECTION (W.C. Accessible)
1 1/2" = 1'-0"



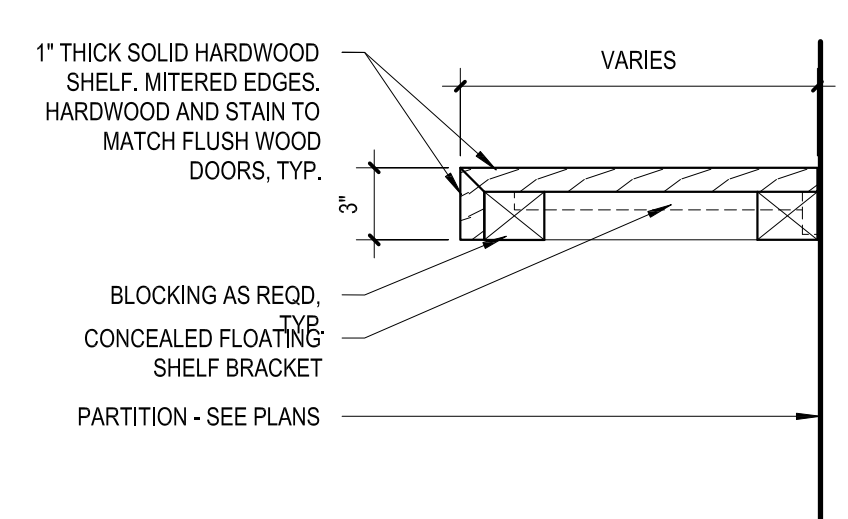
③ SINK SECTION (@ Bathroom)
1 1/2" = 1'-0"



④ BASE & WALL CABINET SECTION (Typical)
1 1/2" = 1'-0"



⑤ FLOATING SHELVES - PLAN
1" = 1'-0"



⑥ FLOATING SHELF DETAIL
1 1/2" = 1'-0"

Revisions	Date
Revisions by the VA	09/19/2019
100% Construction Documents Submission	05/31/13
95% Construction Documents Submission	05/10/13
60% Design Development Submission	03/26/13

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Stamp/Seal

Drawing Title
MILLWORK DETAILS

Approved: Project Director

Project Title
BUILDING 405B RENOVATIONS

Location
MARTINSBURG, WV

Date
05/31/2013

Checked
TOS


Drawn
LM/RO

VA Project Number
613-13-115

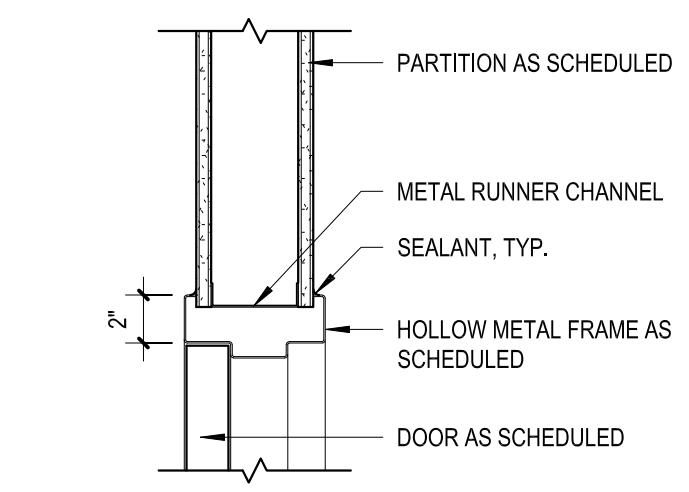
Building Number
405B

Drawing Number
A510

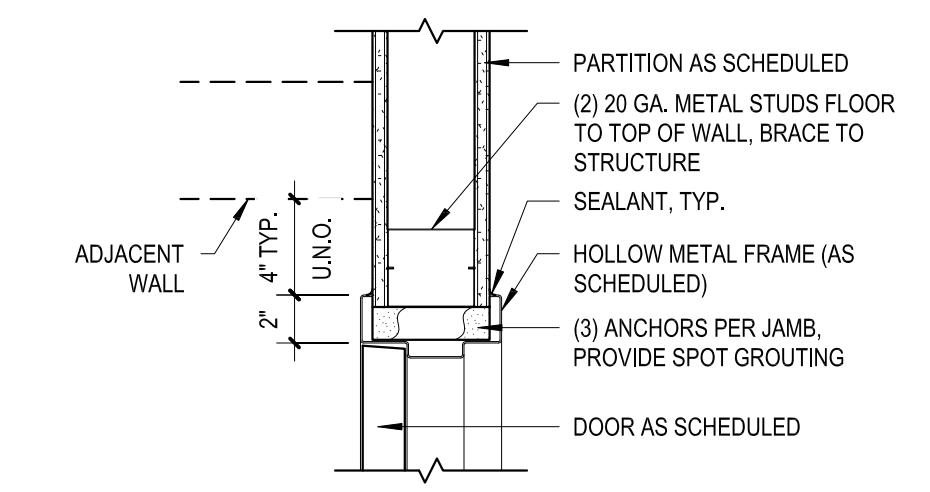
Office of
Construction
and Facilities
Management



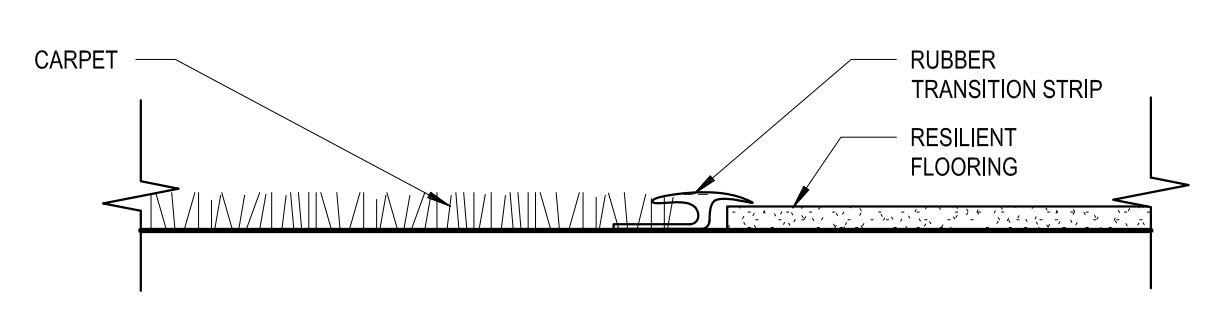
Department of
Veterans Affairs



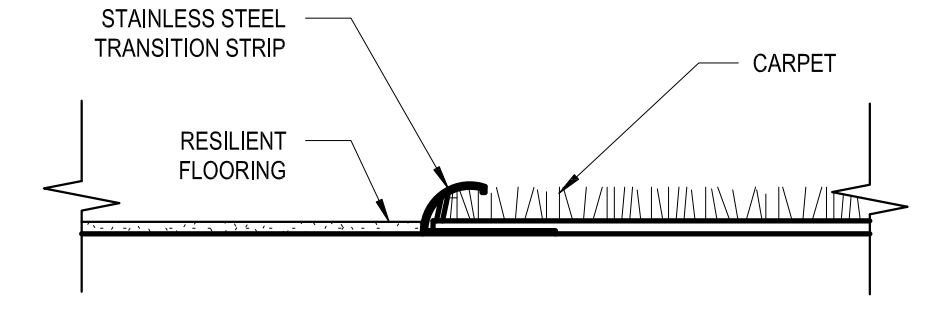
1 HEAD DETAIL
1 1/2" = 1'-0"



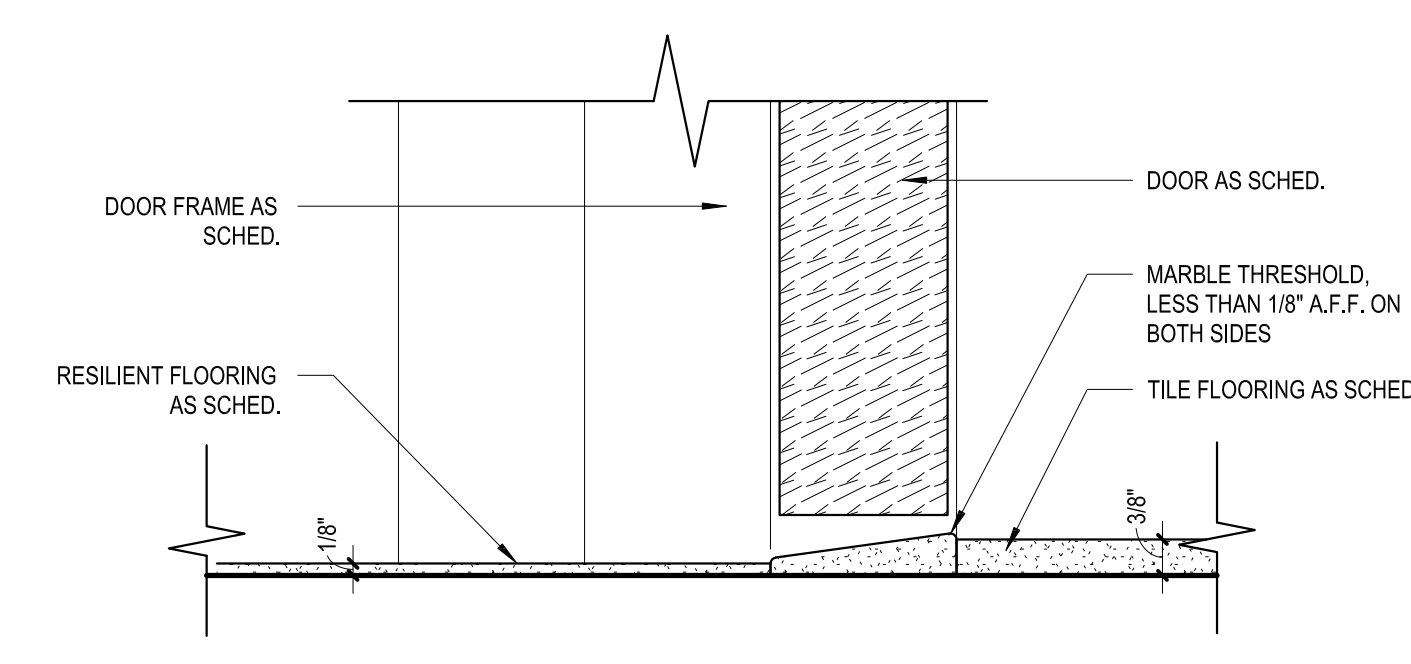
2 JAMB DETAIL
1 1/2" = 1'-0"



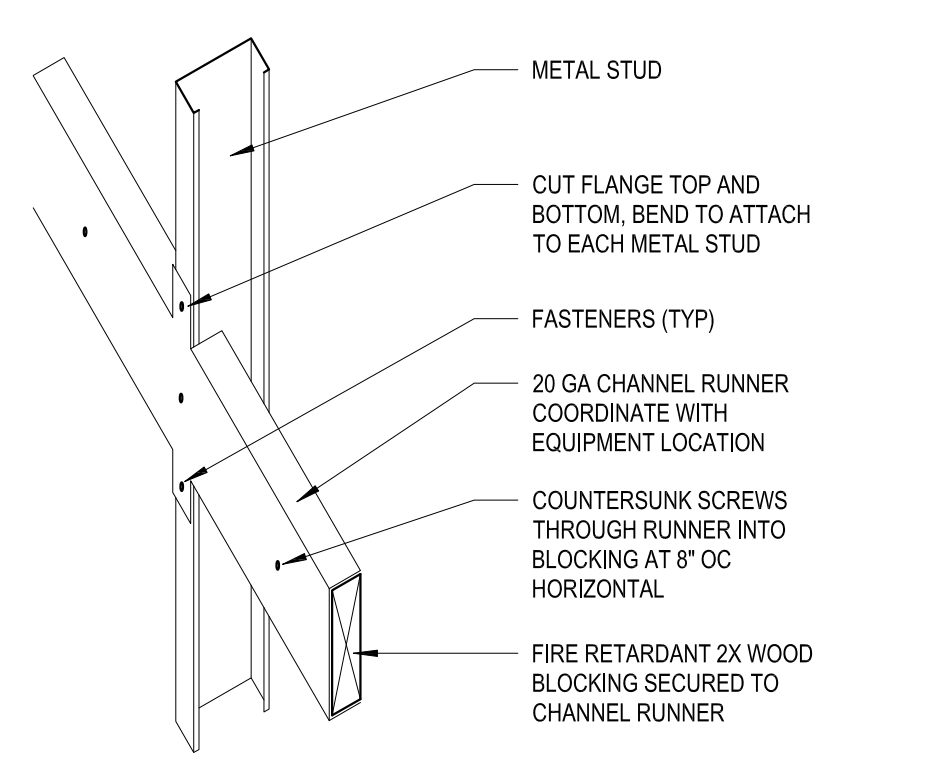
3 CARPET TO FLOOR TRANSITION
6" = 1'-0"



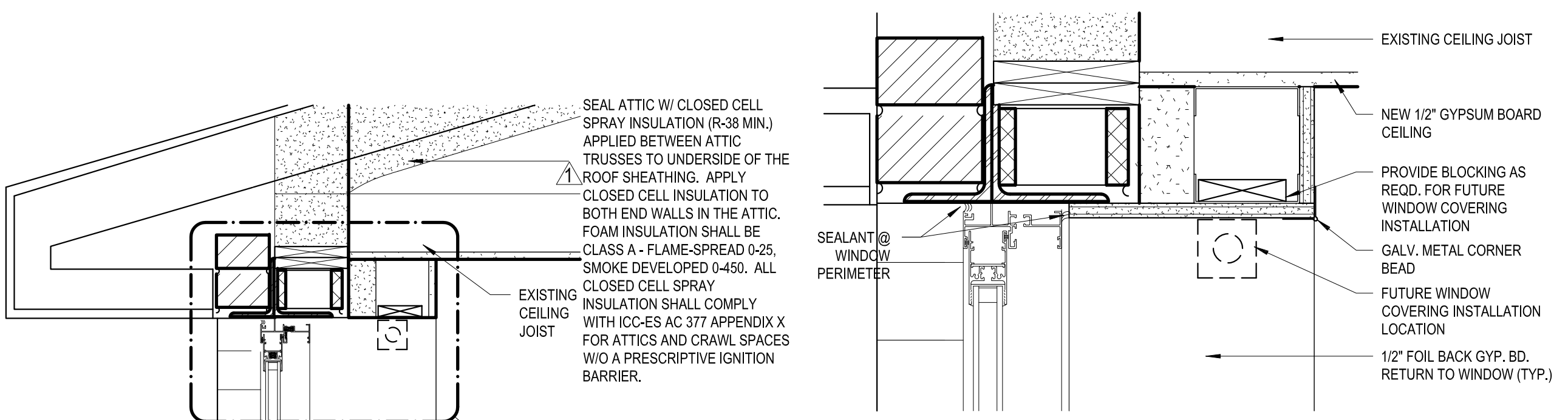
4 CARPET TO FLOOR TRANSITION
6" = 1'-0"



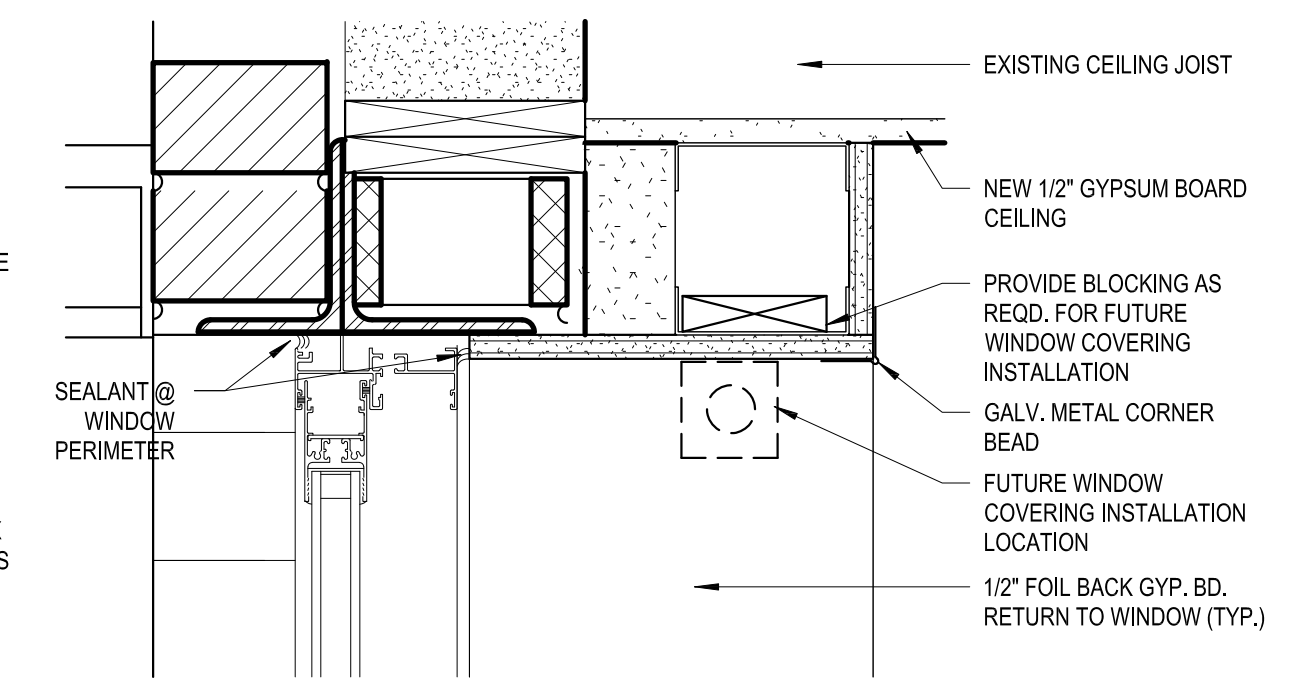
5 MARBLE THRESHOLD
6" = 1'-0"



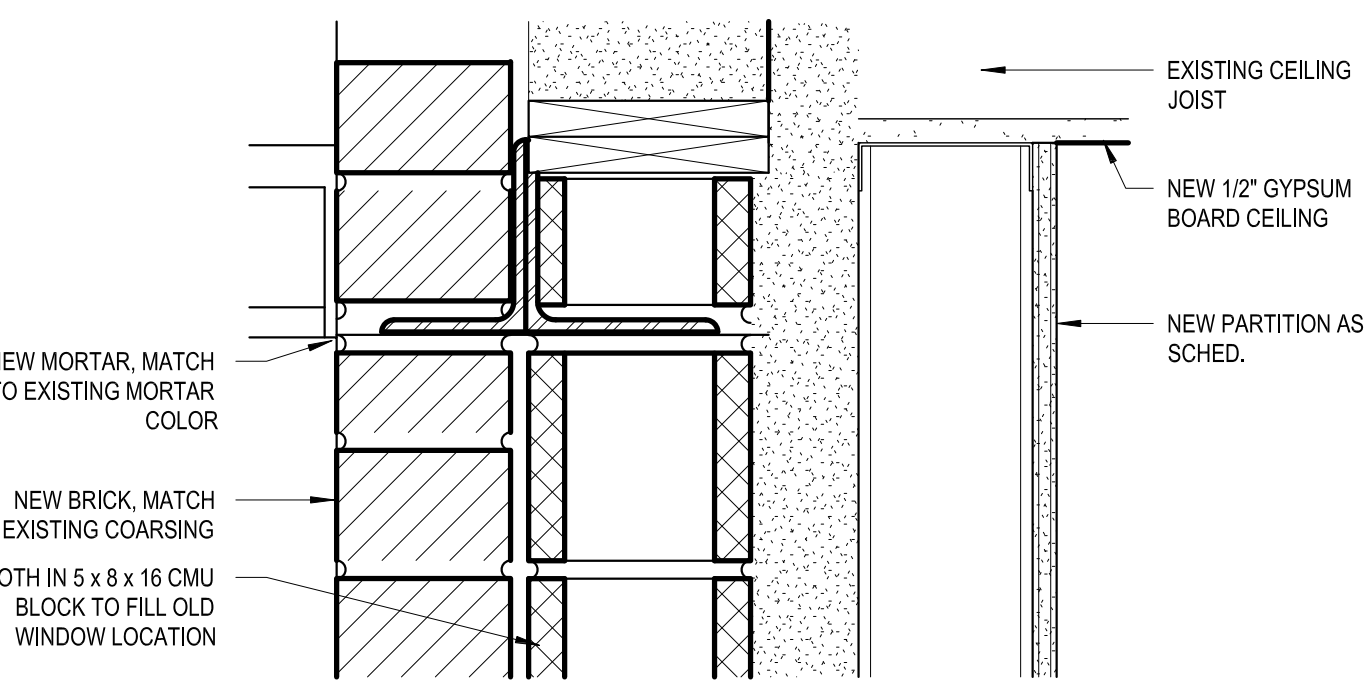
6 TYPICAL BLOCKING DETAIL (WOOD)
1 1/2" = 1'-0"



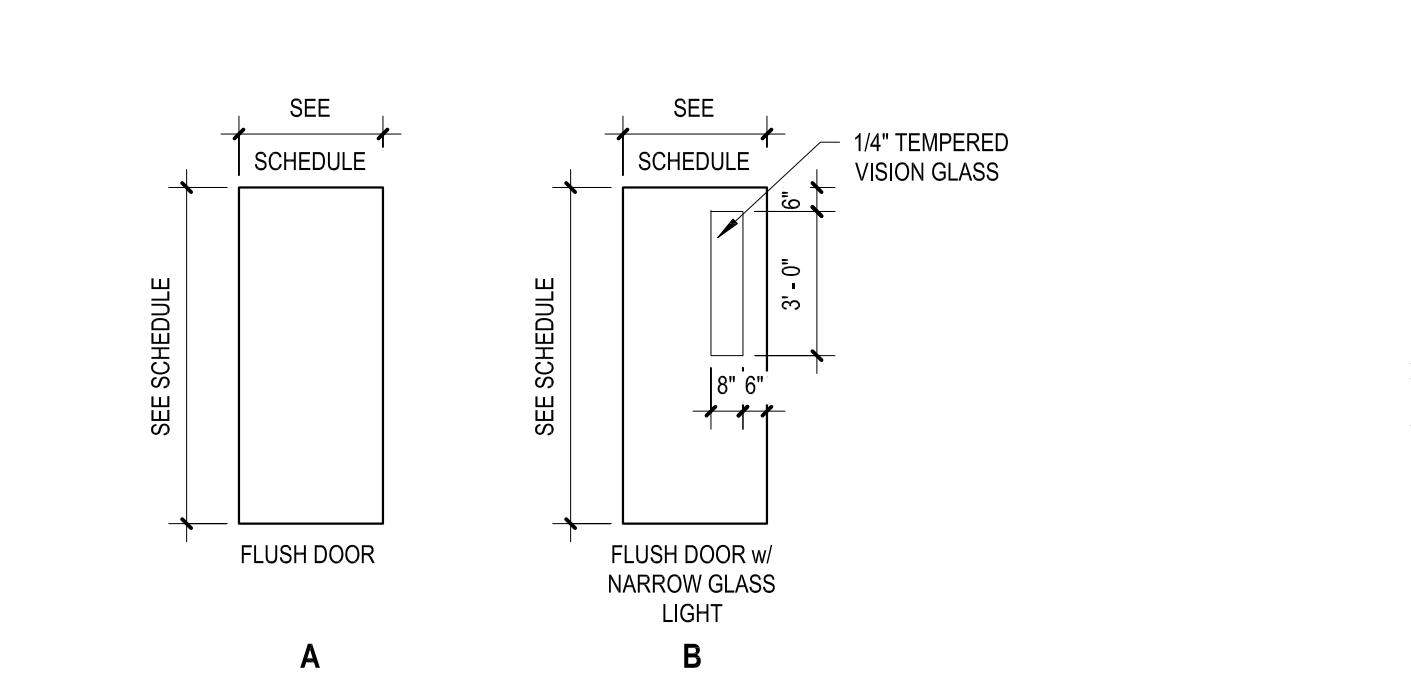
7 EXTERIOR WALL SECTION
1 1/2" = 1'-0"



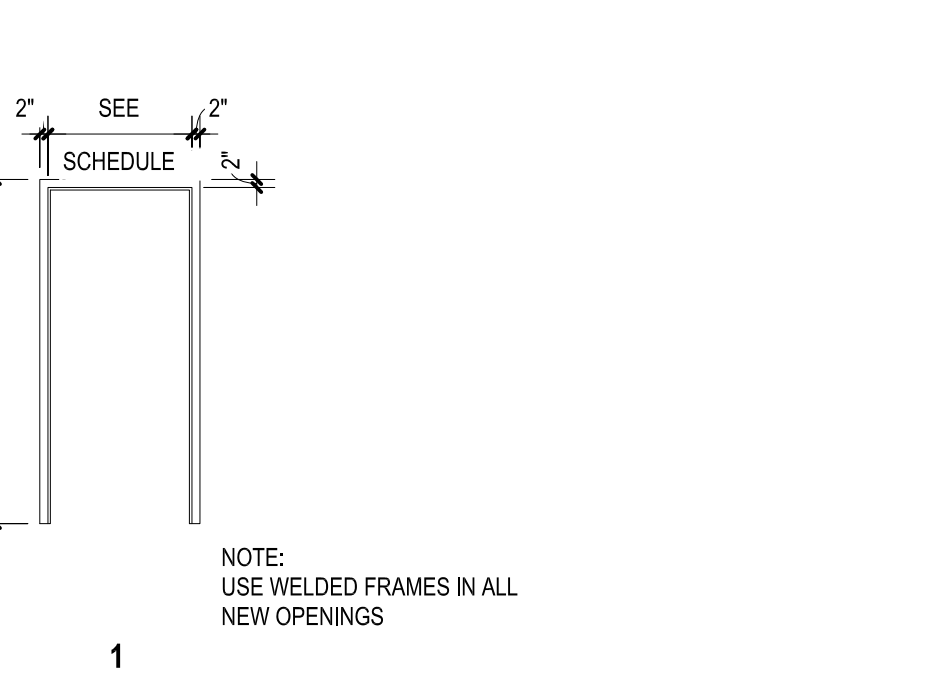
8 WINDOW HEAD DETAIL
3" = 1'-0"



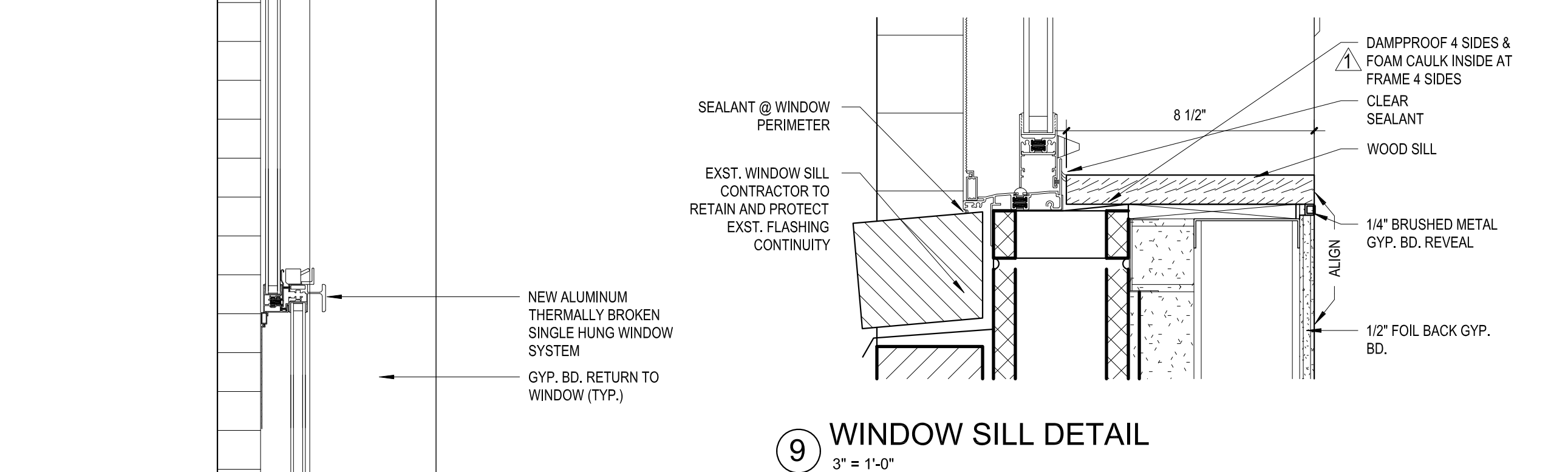
9 WINDOW SILL DETAIL
3" = 1'-0"



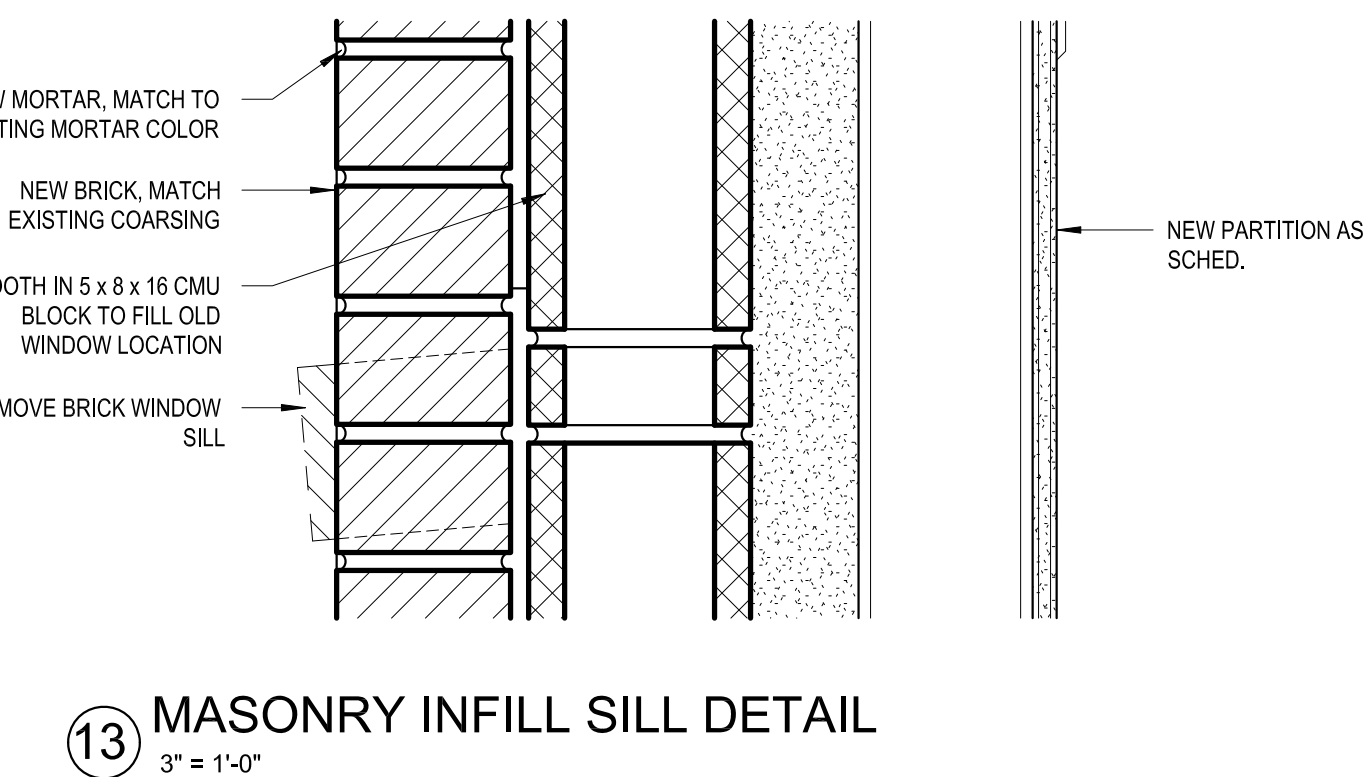
10 ACCESS HATCH
1 1/2" = 1'-0"



11 SHOWER DRAIN DETAIL
1 1/2" = 1'-0"



12 MASONRY INFILL HEAD DETAIL
3" = 1'-0"

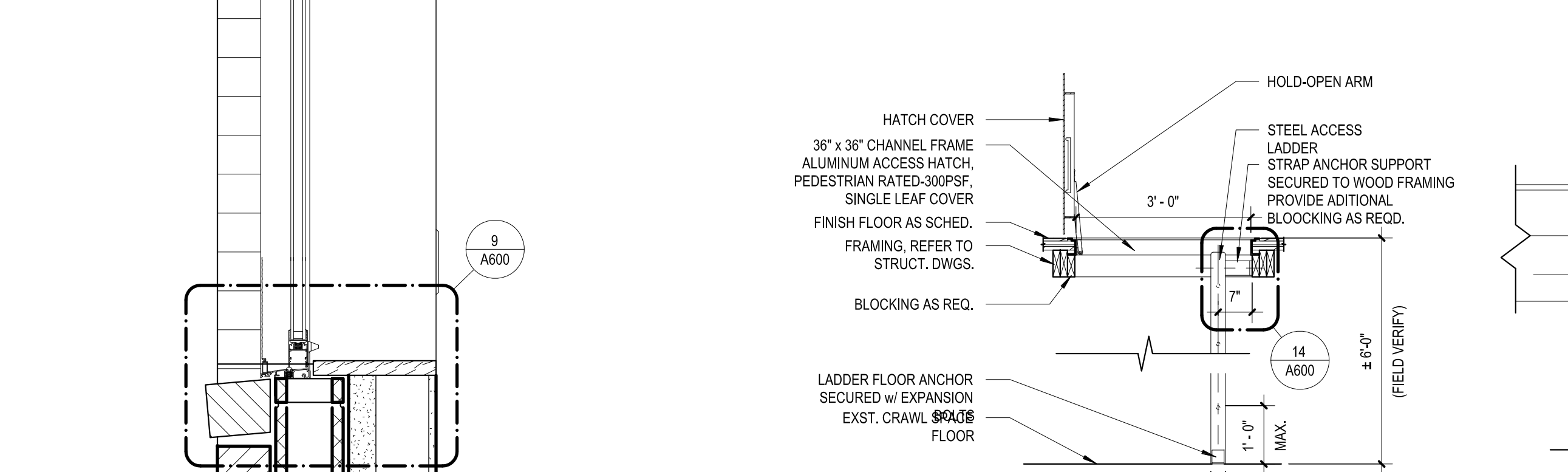


13 MASONRY INFILL SILL DETAIL
3" = 1'-0"

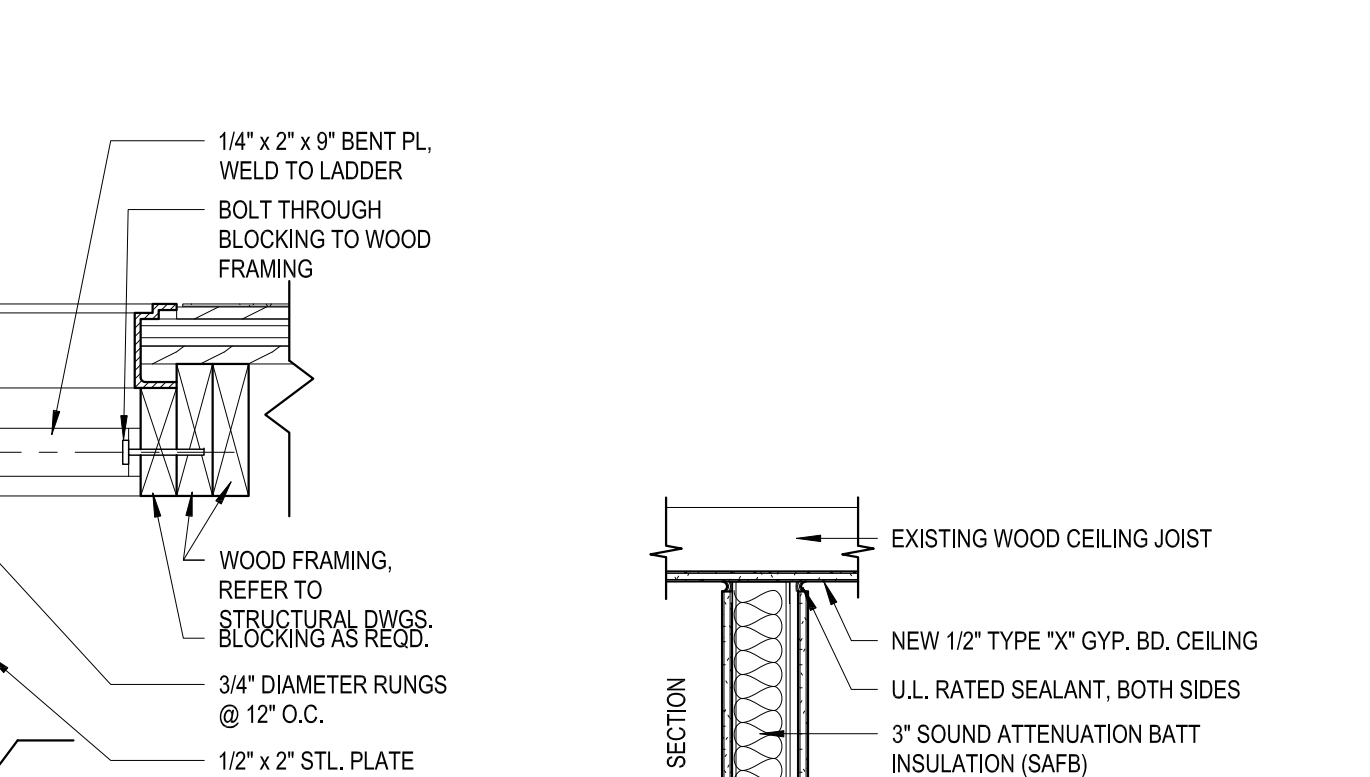
DOOR NO.	FIRE RATING	DOOR TYPE	DOOR				GLASS	DOOR FINISH	FRAME TYPE	FRAME			FRAME FINISH	HDW SET	COMMENTS	
			LEAF QTY	OPNG SIZE	WIDTH	HEIGHT				HEAD	JAMB	SILL				
405.1	60 MIN.	A	1	3'-6"	7'-0"	1 3/4"	HM	PT	1	HM	1A500	2A500	PT	1		
405.2	60 MIN.	A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	2		
405.3	60 MIN.	A	1	4'-0"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	11		
405.4		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	3		
405.4A		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	4A500	PT	4	
405.5		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	3		
405.5A		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	4A500	PT	4	
405.6		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	4A500	PT	5	
405.7B		A	1	2'-0"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	6		
405.8		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	3		
405.8A		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	4A500	PT	4	
405.9		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	3		
405.9A		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	4A500	PT	4	
405.10		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	3		
405.10A		A	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	4A500	PT	4	
405.11		B	1	3'-6"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	7		
405.12		A	2	4'-0"	7'-0"	1 3/4"	SCWD	STAIN	1	HM	1A500	2A500	PT	8		
405.14		A	1	3'-6"	6'-8 1/2"	1 3/4"	HM	PT	1	HM	1A500	2A500	PT	9		

DOOR TYPES
1/4" = 1'-0"

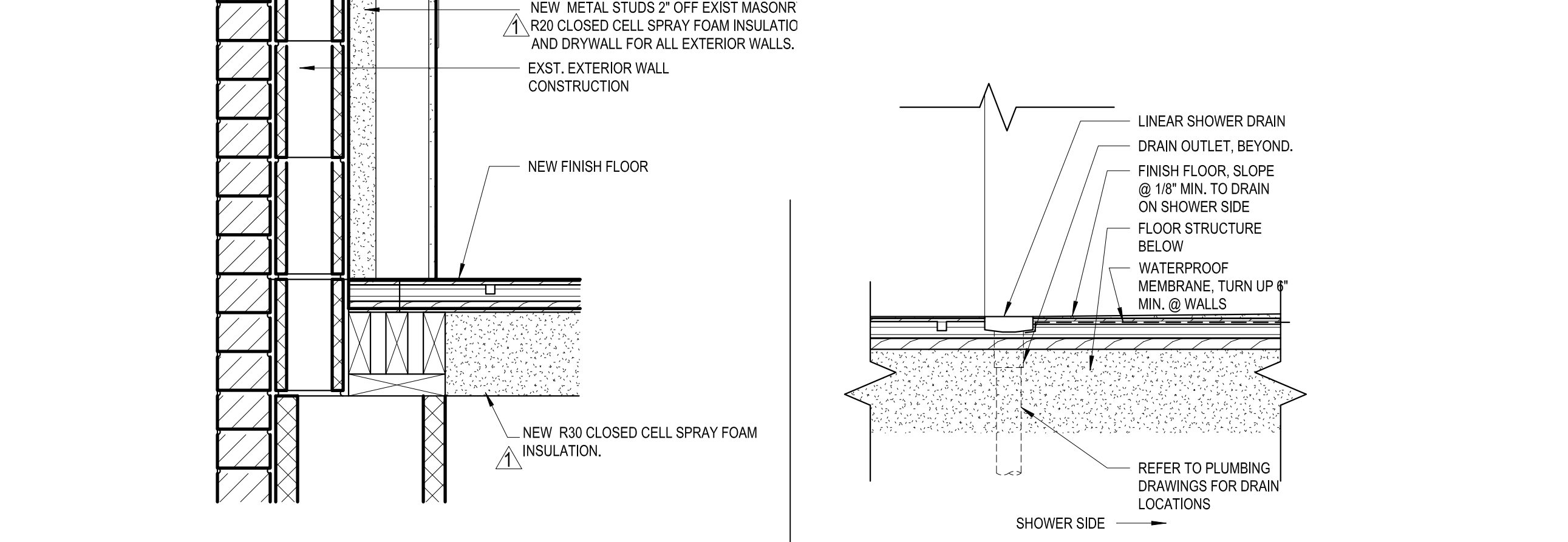
FRAME TYPES
1/4" = 1'-0"



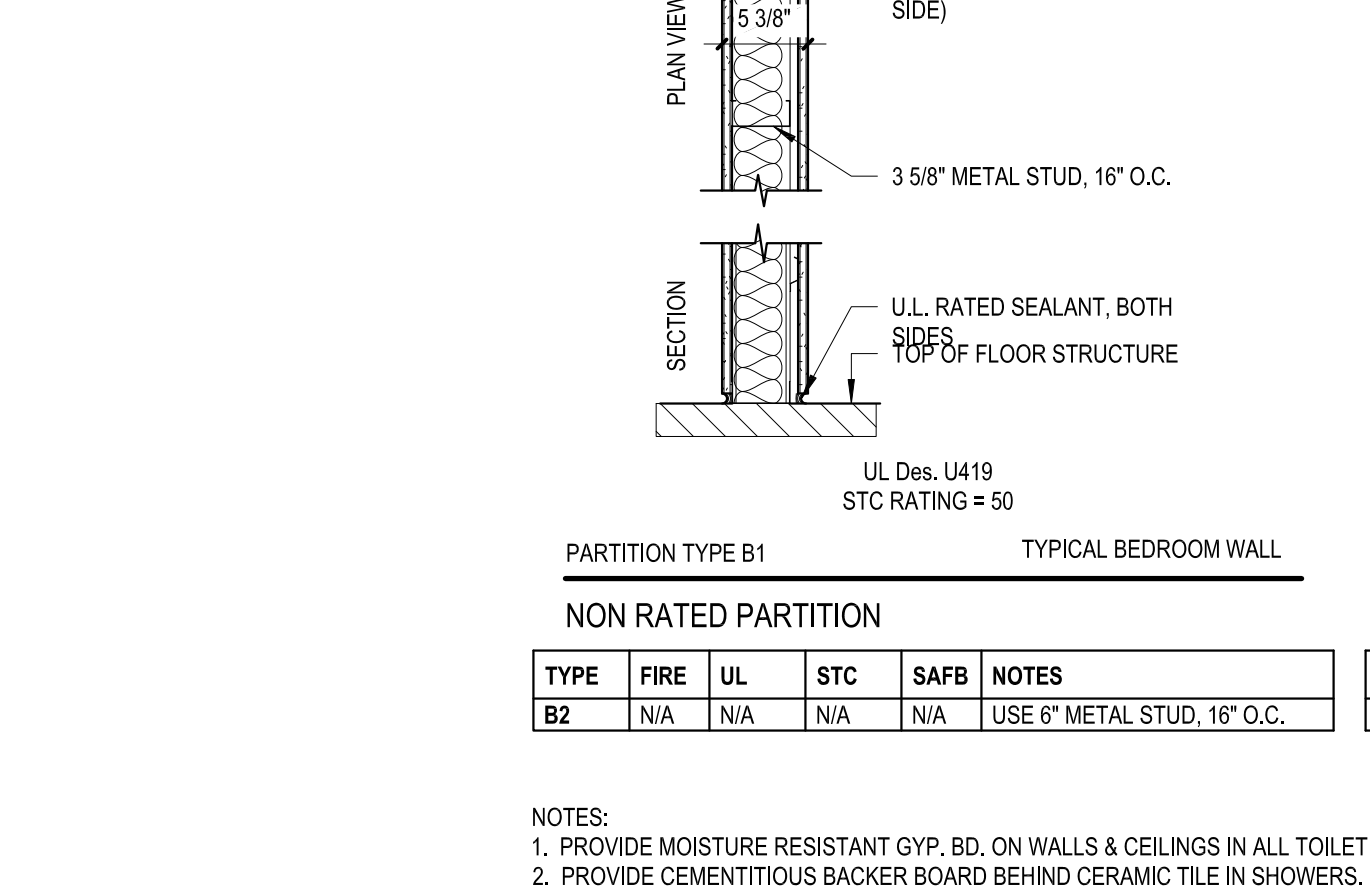
14 LADDER DETAIL
1 1/2" = 1'-0"



15 PARTITION TYPES
1" = 1'-0"



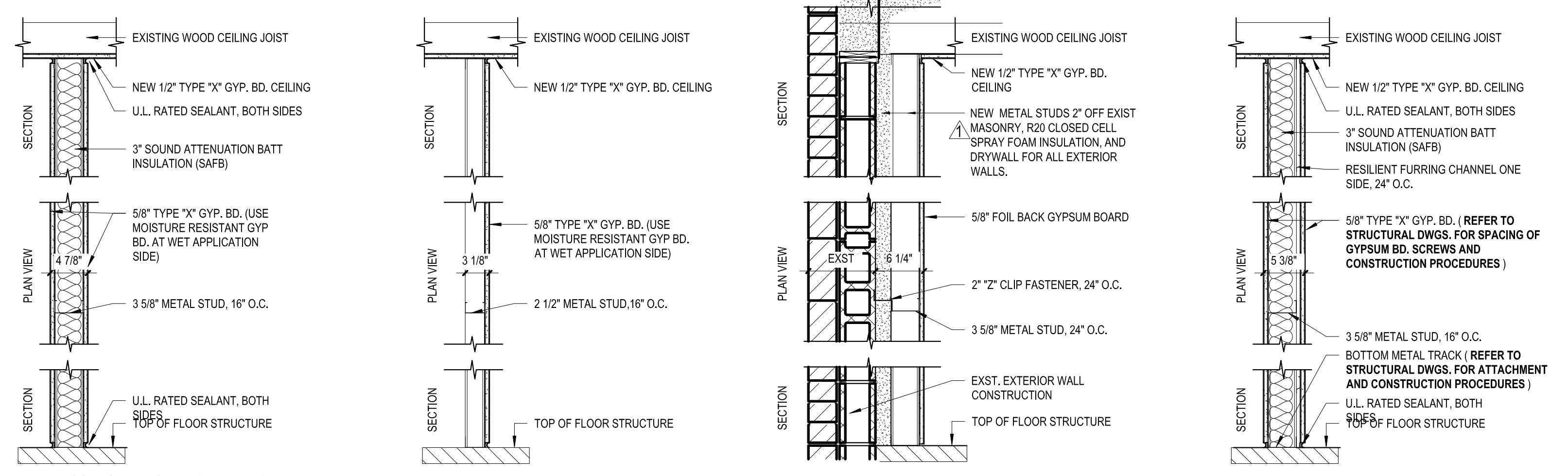
16 SHOWER DRAIN DETAIL
1 1/2" = 1'-0"



17 WINDOW SCHEDULE
1" = 1'-0"

TYPE	Rough Width	WIDTH	Rough Height	HEIGHT	OPERATION	COMMENTS
A	3'-3 1/2"	3'-2 1/2"	6'-2"	6'-1 1/2"	SINGLE HUNG	
B	3'-1 1/2"	3'-0 1/2"	4'-1"	4'-0 1/2"	SINGLE HUNG	

ALL MASONRY OPENINGS REQUIRE FIELD VERIFICATION BY CONTRACTOR PRIOR TO SHOP DRAWINGS SUBMISSION.



TYPE	FIRE	UL	STC	SAFB	NOTES
BZ	N/A	N/A	N/A	N/A	USE 6" METAL STUD, 16" O.C.
CZ	N/A	N/A	N/A	N/A	5/8" TYPE "X" GYP. BD. NO (SAFB)

NOTES:
1. PROVIDE MOISTURE RESISTANT GYP. BD. ON WALLS & CEILINGS IN ALL TOILET AND BATHROOMS & ON WET WALL IN KITCHEN
2. PROVIDE CEMENTITIOUS BACKER BOARD BEHIND CERAMIC TILE IN SHOWERS.
3. PROVIDE BLOCKING BEHIND ANY WALL OR CEILING HUNG ITEMS, SUCH AS WALL MOUNTED TV'S, CEILING FANS, TOWEL BARS, GRAB BARS, LIGHTING FIXTURES, DOOR BUMPERS, ETC. COORDINATE BLOCKING LOCATIONS IN FIELD.

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Drawing Title
DETAILS, PARTITION TYPES, DOOR & WINDOW SCHEDULE

Project Title
BUILDING 405B RENOVATIONS

VA Project Number
613-13-115

Office of Construction and Facilities Management

Location
MARTINSBURG, WV

Building Number
405B

Department of Veterans Affairs

Revisions by the VA	Date
100% Construction Documents Submission	09/19/2019
95% Construction Documents Submission	05/31/13
60% Design Development Submission	05/10/13
	03/26/13

Approved: Project Director

Date
05/31/2013

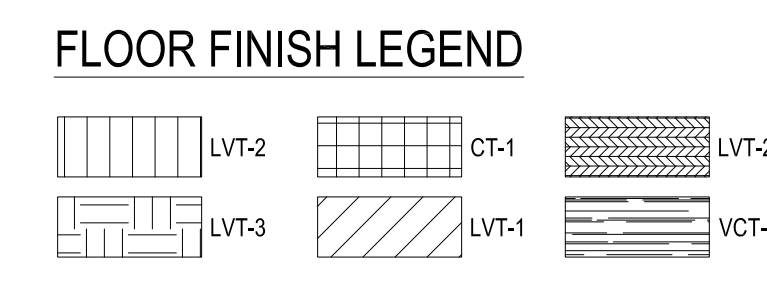
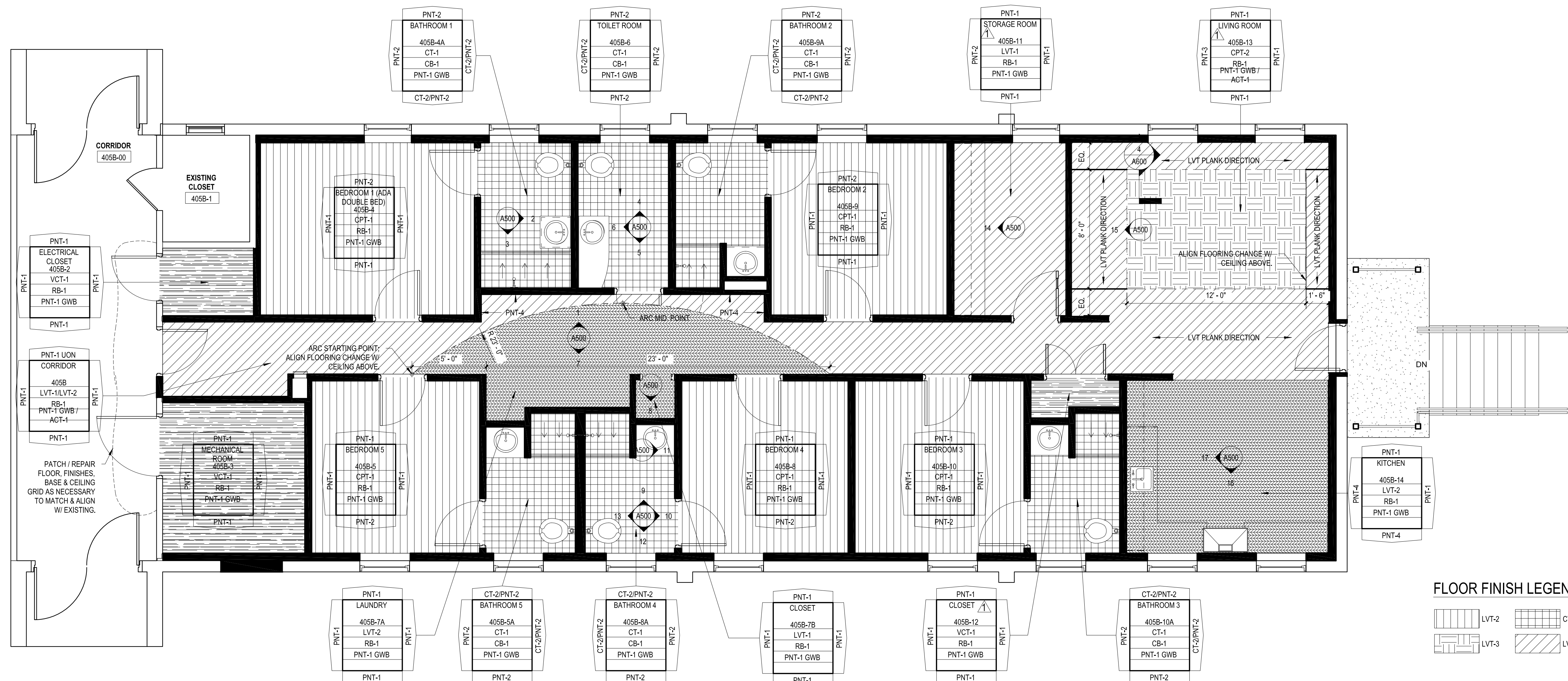
Checked
TOS

Drawn
LM/RO

Drawing Number
A600

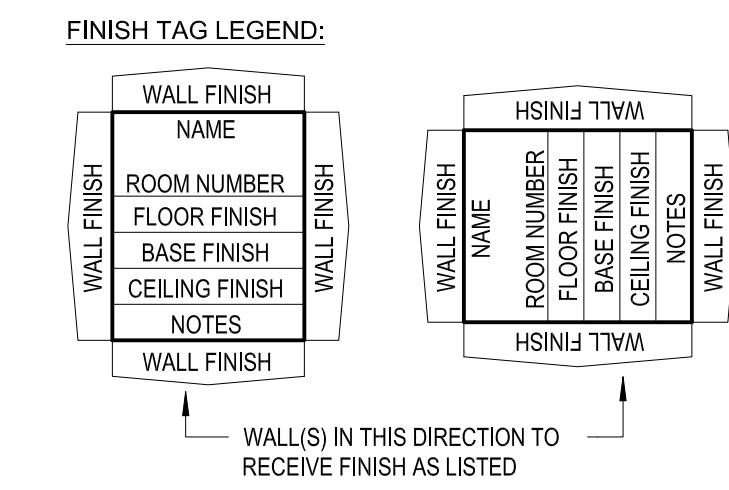
GENERAL FINISH NOTES:

- A. CENTER ALL TILES TO CENTER OF THE ROOM UNLESS OTHERWISE NOTED (U.O.N.)
- B. ALIGN WALL TILES GROUT LINES WITH FLOOR TILE GROUT LINES IN RESTROOMS.
- C. INSTALL DIRECTIONAL FLOORING ORIENTED AS NOTED.
- D. PROVIDE TILE IN ALL SHOWER SURROUNDS AS SHOWN IN ELEVATIONS. PROVIDE CERAMIC TILE TRIM PIECES - BULL NOSE, INSIDE/ OUTSIDE CORNERS, ETC. PROVIDE 45 DEGREE MITRE AT ALL OUTSIDE CORNERS IF NO BULL NOSE TILE IS AVAILABLE.
- E. AT DOORS WHERE AN ACCENT PAINT IS INDICATED, FRAMES ARE TO BE PAINTED WITH THE SAME ACCENT COLOR WITH A SEMI-GLOSS FINISH.
- F. CONTINUE FLOORING UNDER MILLWORK.
- G. SEE SPECIFICATION 09 00 00 SCHEDULE FOR FINISHES FOR ADDITIONAL INFORMATION.

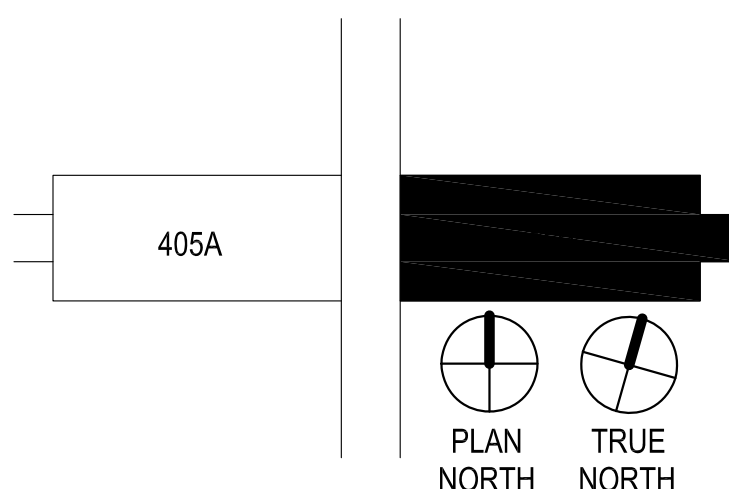


1 FIRST FLOOR - FINISH PLAN
1/4" = 1'-0"

FINISH LEGEND				
SYMBOL	DESCRIPTION	MANUFACTURER	STYLE/COLOR	REMARKS
CEILING				
ACT-1	ACOUSTIC CEILING TILE	ARMSTRONG	ULTIMA BEVELED TEGULAR 1912 / WHITE	
PNT-1	CEILING PAINT	SHERWIN WILLIAMS	NATURAL CHOICE SW 7011: FLAT FINISH	
FLOOR				
LVT-2	VINYL TILE			
LVT-3	VINYL TILE			CONFERENCE ROOM INLAY
CT-1	CERAMIC FLOOR TILE	DALTILE	FABRIQUE: GRIS LINEN (12" x 12" TILE)	
LVT-1	VINYL TILE	TAJIMA	NATURALS LVT: WAA 5113 KOTO (4" x 36" PLANK)	
LVT-2	VINYL TILE	TAJIMA	CARBON MAE-3036 (18" x 18" TILE)	
VCT-1	VINYL COMPOSITION TILE	ARMSTRONG	EXCELON: 51836 SHELTER WHITE	
MILLWORK				
PL-1	PLASTIC LAMINATE	LAMINART	#2102-T O/S ROYAL PEWTER	CONFERENCE RM / KITCHEN / COPY RM / RESTROOM
SSC-1	SOLID SURFACE COUNTER	ALKEMI	NATURAL 10 - STANDARD TEXTRUE	CONFERENCE ROOM / KITCHEN
SSC-2	SOLID SURFACE COUNTER	DUPONT	CORIAN, PINE	COPY ROOM / RESTROOM
OTHER				
PNT	DOOR FRAME PAINT	SHERWIN WILLIAMS	COLOR TO MATCH ADJOINING WALL; FINISH: SEMI-GLOSS	WHEN EACH SIDE OF WALL IS DIFFERENT, PAINT TO INSIDE OF DOOR JAMB
WD-1	WOOD DOOR	VT ARCH. WOOD DOORS	CHERRY VENEER; CLEAR FINISH CLO7	
WALL				
CB-1	CERAMIC WALL BASE	DALTILE	FABRIQUE: CREME LINEN (3" x 12")	
CT-2	CERAMIC TILE, WALL	DALTILE	FABRIQUE: CREME LINEN (2" x 2" MOSAIC)	
PNT-1	PAINT	SHERWIN WILLIAMS	NATURAL CHOICE SW 7011	
PNT-2	PAINT	SHERWIN WILLIAMS	SVELTE 9A6E SW 6164	Paint Palette to be selected. Similar Quality
PNT-3	PAINT	SHERWIN WILLIAMS	BAGEL SW 6114	
PNT-4	PAINT	SHERWIN WILLIAMS	GRANITE PEAK SW 6250	
RB-1	RUBBER WALL BASE	ICOPPE	PEWTER 178	



FINISH TAG LEGEND
1/4" = 1'-0"



KEY PLAN
1" = 50'-0"

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Stamp/Seal	Drawing Title FIRST FLOOR - FINISH PLAN	Project Title BUILDING 405B RENOVATIONS	VA Project Number 613-13-115	Office of Construction and Facilities Management
Approved: Project Director	Location MARTINSBURG, WV	Building Number 405B	Drawing Number A1100	
	Date 05/31/2013	Checked TOS	Drawn AC/RO	Department of Veterans Affairs