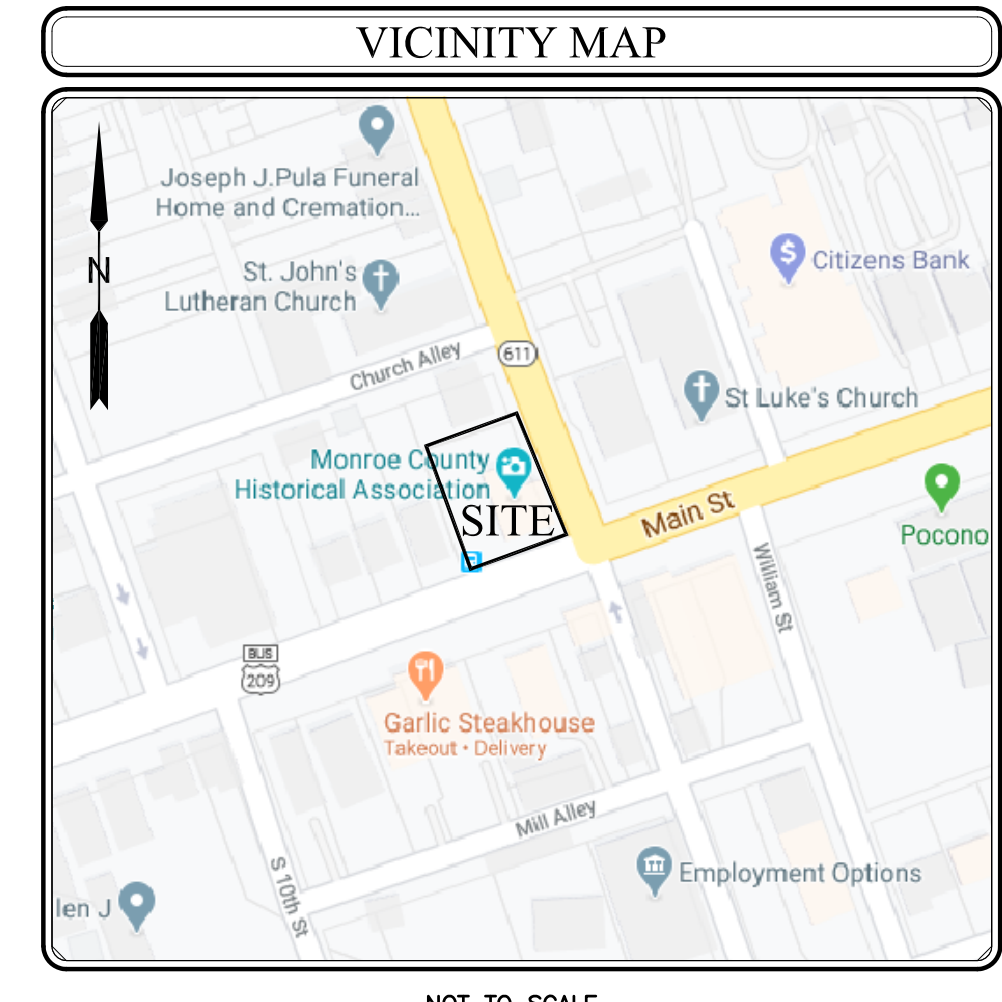
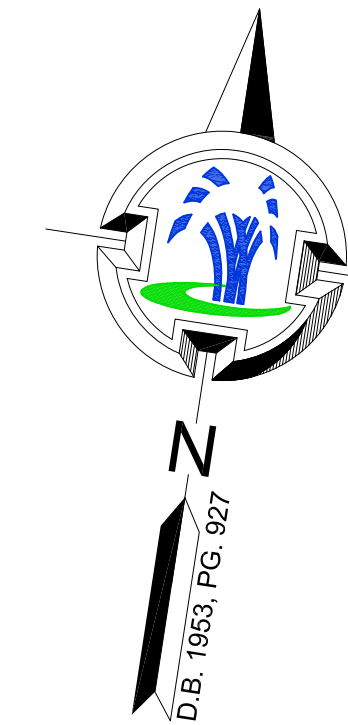


**FLOOD NOTE:**  
 BY GRAPHIC PLOTTING ONLY. THIS PROPERTY IS LOCATED IN ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD) OF THE FLOOD INSURANCE RATE MAP, MAP NO. 42089C0427E, WHICH BEARS AN EFFECTIVE DATE OF MAY 2, 2013, AND PART OF ZONE XE (BASE FLOOD ELEVATIONS DETERMINED) OF THE FLOOD INSURANCE RATE MAP, MAP NO. 42089C0427E, WHICH BEARS AN EFFECTIVE DATE OF MAY 2, 2013.  
 AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS INFORMATION TO APPLY FOR A WARRANTY.  
 BEFORE THE PREPARATION OF DESIGN PLANS PLEASE VISIT FEMA.GOV TO CONFIRM THE INFORMATION LISTED ABOVE.

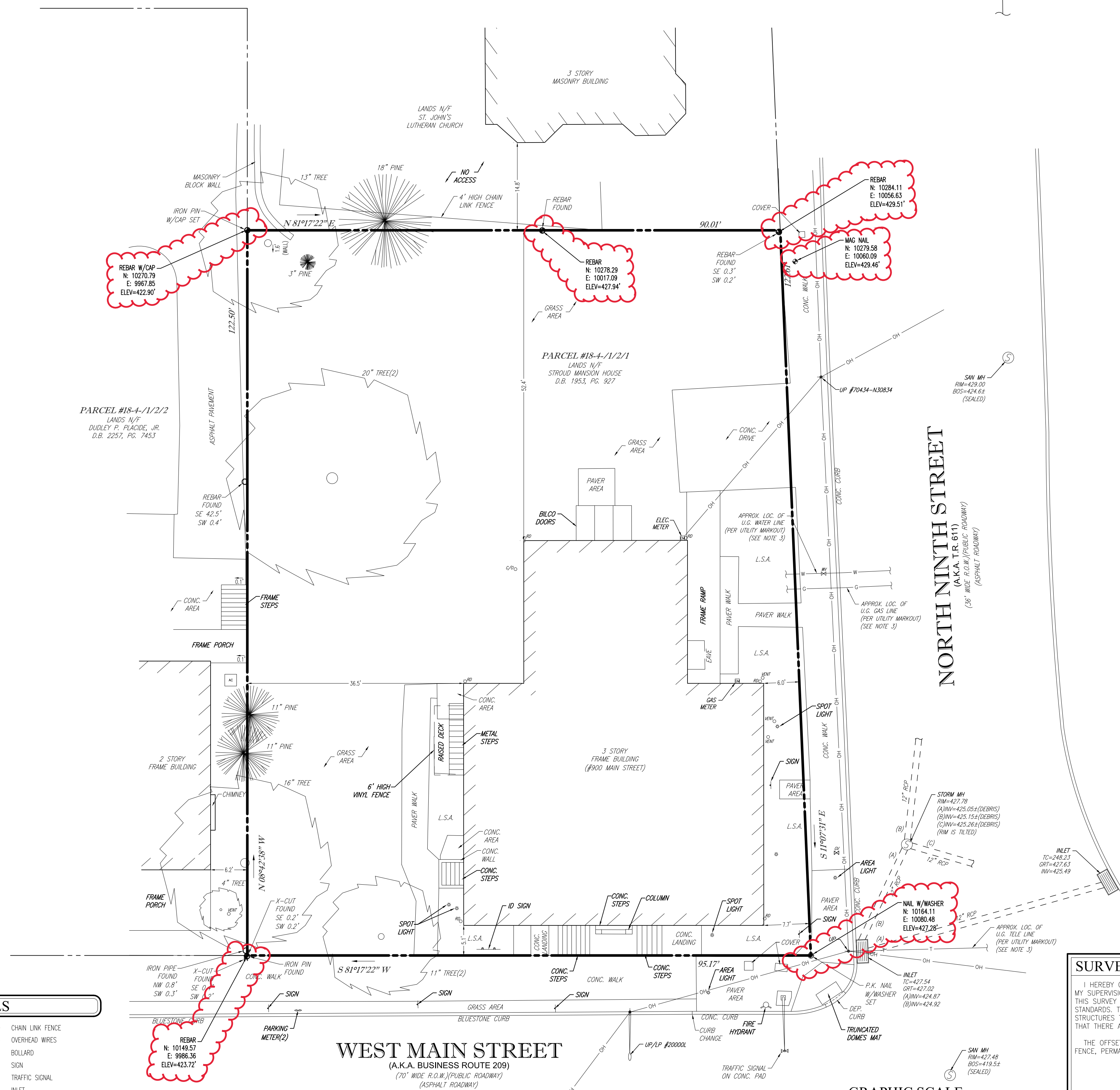
SVN MH  
 RM=421.65  
 (SCALED)

SVN MH  
 RM=423.36  
 (SCALED)

**CHURCH ALLEY**  
 (F.K.A. MILL ALLEY)  
 (30' WIDE R.O.W.)(PUBLIC ALLEY)  
 (ASPHALT ALLEY)



NOT TO SCALE



**NOTES**

- PROPERTY KNOWN AS PARCEL #18-4-1/2/1 AS IDENTIFIED ON THE OFFICIAL TAX MAPS OF MONROE COUNTY, BOROUGH OF STROUDSBURG, COMMONWEALTH OF PENNSYLVANIA.
- AREA = 11,343 S.F. OR 0.260 AC.
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE ASBUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE THE PREPARATION OF DESIGN PLANS AND/OR EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BLUE MARSH ASSOCIATES, INC. AND OTHER REFERENCED MATERIAL AS LISTED HEREON. **THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT**
- THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
- THIS PROPERTY SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
- ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.
- ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.

**REFERENCES**

- THE OFFICIAL TAX MAPS OF THE MONROE COUNTY, BOROUGH OF STROUDSBURG, COMMONWEALTH OF PENNSYLVANIA.
- MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, MONROE COUNTY, PENNSYLVANIA (ALL JURISDICTIONS)", PANEL 427 OF 535, MAP NUMBER 42089C0427E, EFFECTIVE DATE MAY 2, 2013.
- MAP ENTITLED "FINAL PLAN, SUBDIVISION WILLIAM PETERSON, STROUDSBURG BORO., MONROE CO., PA." PREPARED BY RICHARD C. STORM P.L.S., DATED 5-10-88, LAST REVISED 6-9-88
- MAP ENTITLED "MAP OF SURVEY LANDS OF MONROE COUNTY, HISTORIC ASSOCIATION, STROUDSBURG BORO., MONROE COUNTY, PA." PREPARED BY ACHTERMAN ASSOCIATES.

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE - STOP CALL  
 PA 1  
 1-800-343-1776  
 TICKET #20201543908

**LEGEND OF SYMBOLS**

—	CONTOUR (MAJOR/MINOR)	—	CHAIN LINK FENCE
•	SPOT ELEVATION	—	OVERHEAD WIRES
—	TOP OF CURB ELEVATION	•	BOLLARD
—	GUTTER ELEVATION	—	SIGN
—	TOP OF WALL ELEVATION	—	TRAFFIC SIGNAL
—	BOTTOM OF WALL ELEVATION	—	INLET
—	APPROXIMATE LOCATION OF UNDERGROUND GAS LINE	—	MANHOLE
—	APPROXIMATE LOCATION OF UNDERGROUND SEWER LINE	—	UTILITY POLE
—	APPROXIMATE LOCATION OF UNDERGROUND WATER LINE	—	UTILITY POLE WITH LIGHT
—		—	APPROXIMATE LOCATION OF UNDERGROUND TELEPHONE LINE

**SURVEYOR'S CERTIFICATION**

I HEREBY CERTIFY THAT THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THAT THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS. THAT THE PROPERTY LINES AND THE LAND INDICATED HEREON IS CORRECT, AND THAT THERE ARE NO ENCROACHMENTS OF BUILDINGS OR STRUCTURES ONTO SAID LAND.

THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

**JOSEPH J. WRIGHT**  
 PENNSYLVANIA PROFESSIONAL LAND SURVEYOR #5U-37826-E

DATE:	6-29-2020
SCALE:	1" = 10'
FIELD BK. NO.:	20-02
PROJECT NO.:	20-B-151
DRAWN BY:	G.A.
REVIEWED BY:	T.D.M./J.J.W.
REV-1:	7-14-2020 REVISED PER CLIENT COMMENTS
REV-2:	1-6-2023 REVISED TO SHOW PROPERTY CORNERS
REV-3:	
REV-4:	
REV-5:	

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**STROUD MANSION HOUSE**  
 #900 MAIN STREET  
 PARCEL #18-4-1/2/1  
 BOROUGH OF STROUDSBURG, MONROE COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

**BLUE MARSH ASSOCIATES, INC.**  
 LAND SURVEYORS & PLANNERS

551 EASTON ROAD, SUITE A  
 WARRINGTON, PA 16876-2370  
 215-278-4253 (MAIN)  
 215-343-0218 (FAX)

1541 ROUTE 37 EAST, SUITE B  
 TOMES RIVER, NJ 08753  
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 732-929-8915 (FAX)

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